

Pre-Construction Minor Works Approval Form

Minor Works are defined as any low impact activities that are undertaken prior to the commencement of 'construction' as defined in the project's applicable planning approval. However if Minor Works affect or potentially affect heritage items, threatened species, populations or endangered ecological communities, these works are defined as 'construction' unless otherwise determined by the applicable planning authority.

Minor Works approvals do not remove any obligation to comply with the project's applicable planning approval conditions (including requirements prior to 'any works' commencing) or obtain any other applicable permits, licenses or approvals as necessary.

This application and all supporting information must be submitted to TfNSW/the Environmental Representative as one (1) PDF file at least 10 business days prior to the commencement of the proposed Minor Works.

Part 1: Application	
Contractor:	A J Bristow and Sons Pty Ltd
Project:	Sydney Metro Martin Place Station
Application Title: (e.g. Smith St trenching works)	Infilling of door openings between 50 Martin Place and 9-19 Elizabeth Street, Sydney.
Application Number:	001
Application Date:	13 July 2018
Planning Approval:	SSI 7400
Minor Works Categories: <ul style="list-style-type: none"> • Highlight as applicable. • If Items 4, 8 or 11 are applicable, this form must be endorsed by an Environmental Representative. 	<ol style="list-style-type: none"> 1. Survey, survey facilitation and investigations works (including road and building dilapidation survey works, drilling and excavation). 2. Treatment of contaminated sites. 3. Establishment of ancillary facilities (excluding demolition), including construction of ancillary facility access roads and providing facility utilities. 4. Operation of ancillary facilities that have minimal impact on the environment and community. 5. Minor clearing and relocation of vegetation (including native). 6. Installation of mitigation measures, including erosion and sediment controls, temporary exclusion fencing for sensitive areas and acoustic treatments. 7. Property acquisition adjustment works, including installation of property fencing and utility relocation and adjustments to properties. 8. Utility relocation and connections. 9. Maintenance of existing buildings and structures. 10. Archaeological testing under the Code of Practice for Archaeological Investigation of Aboriginal Objects in New South Wales (DECCW, 2010) or archaeological monitoring undertaken in association with other Minor Works to ensure there is no impact on heritage items. 11. Any other activities that have minimal environmental impact, including construction of minor access roads, temporary relocation of pedestrian and cycle paths and the provision of property access.
Planning Authority Determination: Will the proposed works affect or have the potential to affect heritage items, threatened species, populations or endangered ecological communities?	<p><i>If 'Yes', this completed form must be endorsed by an Environmental Representative, approved by TfNSW and submitted to the applicable planning authority to determine that the works are not defined as 'construction'.</i></p> <p>Yes.</p>

Part 2: Details

<p>Describe the proposed Minor Works: Including work methodologies, site location(s) and site description(s) (e.g. landscape type, waterways, etc.).</p>	<p>The proposed works comprises the infilling of five interconnecting openings between the building at 50 Martin Place and the adjoining building at 9-19 Elizabeth Street. The openings, which are located within the northern external wall of 50 Martin Place, are proposed to be infilled with masonry.</p> <p>Externally, the walls are to be finished with cement render to match the adjacent surfaces of the northern wall of 50 Martin Place. Internally, the walls are to be tiled to match original adjacent ceramic wall tiles.</p> <p>Refer architectural drawings by TKD Architects.</p>
<p>Planned Commencement Date:</p>	<p>18 August 2018</p>
<p>Local Sensitivities: Describe the presence (if any) of local sensitive environmental areas and community receptors</p>	<p>N/A. Works are internal and minor in nature with only hand tools being used for the majority of the works.</p>

Part 3: Environmental Risk Assessment and Management

Prepare an Environmental Risk Assessment (in accordance with the *Sydney Metro Risk Management Standard*) and an Environmental Control Map for the proposed Minor Works and attach as Appendix 1.
If an Environmental Risk Assessment and/or an Environmental Control Map for the proposed Minor Works is/are already contained in existing documentation, attach the relevant section(s) as Appendix 1.

<p>Documentation: List any existing documents (including those referenced above) that the proposed Minor Works will be undertaken in accordance with and attach as Appendix 2 (e.g. plans, procedures, etc.).</p>	<p>Refer architectural drawings by TKD Architects:</p> <ul style="list-style-type: none"> AR.TD.0000 Cover sheet and site plan AR.TD.0001 Location plan and photo of doors AR.TD.0002 Level 1 proposed infill: plan and elevation AR.TD.0003 Level 3 proposed infill: plan and elevation AR.TD.0004 Level 4 proposed infill: plan and elevation AR.TD.0005 Level 5 proposed infill: plan and elevation AR.TD.0006 Level 7 proposed infill: plan and elevation AR.TD.0007 Schedule of wall types and finishes <p>Minor Works Risk Assessment v2 161035 180628 CSSI Interconnecting Openings Impact Assessment</p>
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Part 4: Workforce Notification

<p>How will the environmental and community risks and associated mitigation measures of the proposed Minor Works be communicated to the contractor's workforce?</p>	<p>A heritage induction will be provided by TKD Architects to the contractor's workforce to ensure that any potential damage to historic building fabric is minimised.</p>
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Part 5: Community Consultation

(Uncontrolled when printed)

<p>What community consultation has been undertaken already?</p>	<p>Individual briefings have been undertaken with relevant building management and operations staff at 50 Martin Place on the expected scope and extent of the works.</p>
<p>What community consultation is planned to be undertaken?</p>	<p>Internal communication to staff is proposed prior to the works commencing via intranet, email, notice board displays and face-to-face communications. This will explain the scope of the proposed works, the potential impacts of the works on occupants, proposed mitigants and identify alternative facilities for occupants.</p>
<p>If drafted already, attach applicable Community Notification as Appendix 3.</p>	


Part 6: Contact Details

Nominate contractor's project manager, environmental and communications contact(s).

<p>Name:</p>	<p>Marcus Bristow</p>	<p>Position:</p>	<p>Project Manager</p>	<p>Phone:</p>	<p>0411868320</p>
	<p></p>		<p></p>		<p></p>
	<p></p>		<p></p>		<p></p>

Part 7: Signature

This signature acknowledges that the proposed Minor Works will be undertaken in accordance with this application, have minimal environmental impact and are not defined as 'construction' in accordance with the applicable planning approval.

<p>Name:</p>	<p>George Phillips</p>		
<p>Signature:</p>		<p>Date:</p>	<p>11 July 2018</p>

(Uncontrolled when printed)

Determination Page

(TfNSW/Environmental Representative Use Only)

Sydney Metro

12. Endorsement/Approval

These signatures represent formal endorsement/approval for the proposed Minor Works to commence in accordance with this application and the applicable planning approval requirements (subject to any determination from the applicable planning authority as may be required by the planning approval conditions).

	TfNSW Principal Manager, Communication & Engagement – Endorsement (required for all applications)	TfNSW Principal Manager, Sustainability, Environment & Planning – Approval (required for all applications)	Environmental Representative – Endorsement (required as necessary in accordance with the applicable planning approval, optional for all other circumstances)
Signature:			
Name:	Anita Borawan	FIL CERONE	Michael Woolley
Date:		16/7/18	16/7/18
Comments:			Supporting letter attached as Appendix 4 if necessary. Noted that Contractor to conduct works are still to be approved for MOD 3 works.
Conditions:			Supporting letter attached as Appendix 4 if necessary. Approval of heritage architect by the Secretary of DPE required prior to works commencing, as required under Condition E22.1.
<input checked="" type="checkbox"/> Approved (by TfNSW)			
<input checked="" type="checkbox"/> Endorsed (by Environmental Representative)			

DPE to approve works (prior to commencement)

<input type="checkbox"/>	Rejected
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Appendix 1: Cover Page

Environmental Risk Assessment and Environmental Control Map.

9-19 ELIZABETH STREET

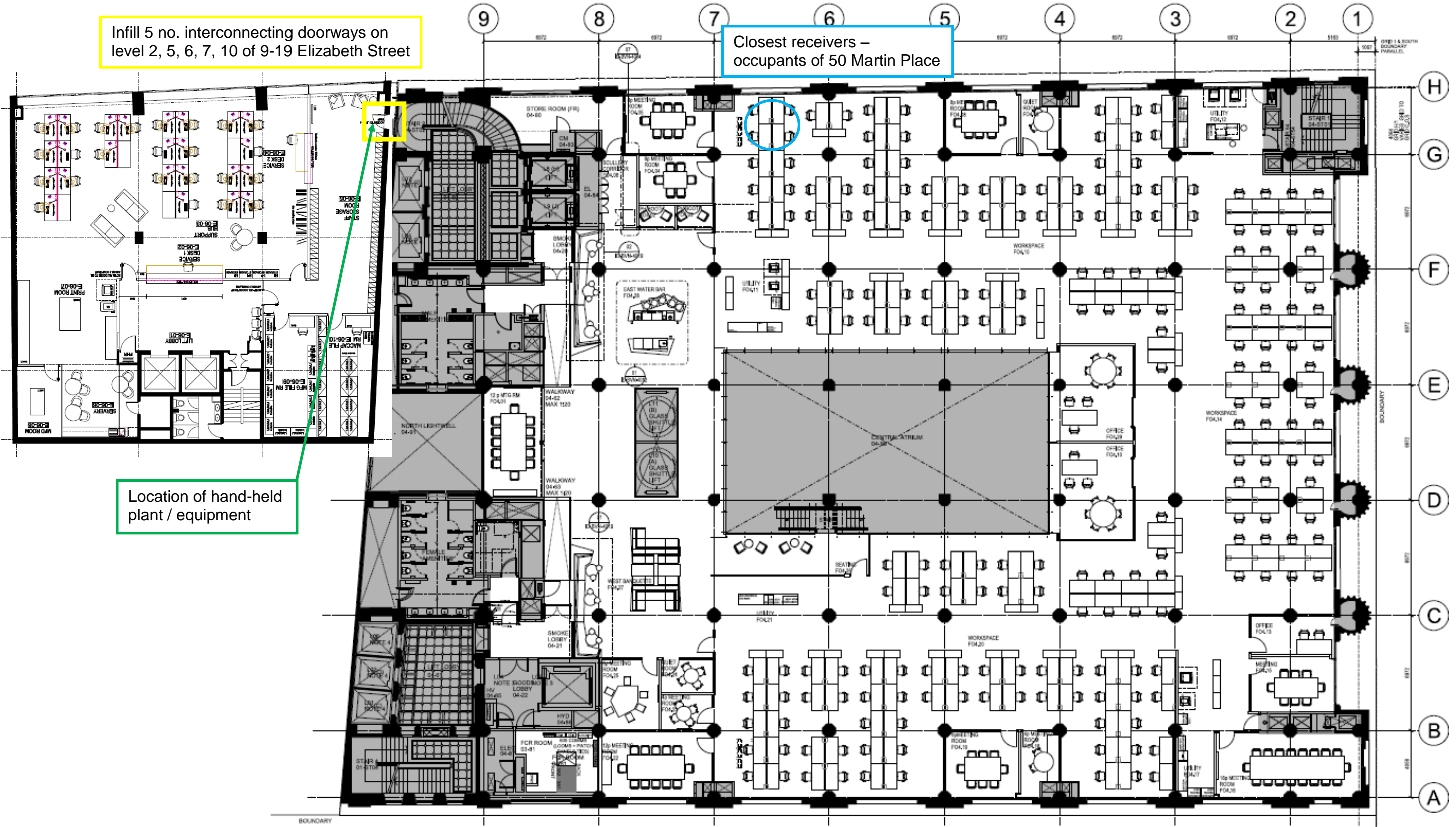
50 MARTIN PLACE

ELIZABETH STREET

Infill 5 no. interconnecting doorways on level 2, 5, 6, 7, 10 of 9-19 Elizabeth Street

Closest receivers – occupants of 50 Martin Place

Location of hand-held plant / equipment



MARTIN PLACE

CASTLEREAGH STREET

Map indicating location of works, plant/equipment and receivers
Not to scale

Description/Impact Area	Risk No.	Risk	Potential Environmental Impact	Initial Risk Rating	Likelihood =	Risk	Control Measures	Initial Risk Rating	Likelihood =	Residual Risk Rating
				Consequence x				Consequence x		
Environment / Internal to 50 Martin Place	1	Demolition from 9-19 Elizabeth Street side causes vibration or results in damage to wall tiles in 50 Martin Place	Damage to tiles (Heritage Item)	C5	L4	Low	Limited demolition being undertaken using hand tools will minimise vibration. Monitoring on 50 Martin Place side to observe impact during demolition	C5	L5	Low
Environment / Noise internal to 50 Martin Place	2	Noise impacts to occupants and receivers in 50 Martin Place building	Noise increase beyond normal conditions with environmental limits	C5	L3	Medium	Works are minor in nature / superficial demolition and to be carried out out of hours. The maximum noise level is expected to be 100-110dB(A) at source attenuated to less than 55dB(A) to occupants of 50 Martin Place	C5	L4	Low
Environment / Noise external to 50 Martin Place	3	Noise impacts to occupants and receivers in 50 Martin Place precinct	No appreciable changes to normal noise conditions	C6	L3	Low	Works are minor in nature / superficial demolition and to be carried out out of hours. The maximum noise level is expected to be 100-110dB(A).at source attenuated to less than 55dB(A) to the external Elizabeth Street façade	C6	L4	Low
Environment / Disposal of Hazardous materials (if uncovered)	4	Damage to external environment by incorrect disposal of hazardous materials if not identified	Contained environmental impact. Minor remedial actions probably required.	C4	L4	Medium	Works are minor in nature / superficial demolition. Monitoring of materials uncovered by demolition to be undertaken. Contractor to be directed to treat demolished material (linings of openings) as if contain hazardous materials. Works to be carried out in accordance with contractor's SWMS	C4	L5	Low
Environment / Traffic	5	Increase in local vehicle movements and parking on adjacent roads for delivery of materials and removal of waste	Low vehicle numbers so no appreciable changes to normal traffic conditions	C6	L4	Low	Works undertaken outside normal working hours. Vehicles to use 50 Martin Place loading dock for loading / unloading	C6	L5	Low
Health and Safety (Injury and Disease) / Risk of injury	6	Risk of injury to building occupants in 9-19 Elizabeth from falling objects resulting from demolition works	Single injury	C4	L4	Low	Works to be carried out after building occupation ceases so no occupants	C4	L6	Low
Health and Safety (Injury and Disease) / Risk of injury	7	Risk of injury to building occupants in 50 Martin Place from falling objects	Single injury	C3	L4	Medium	Works to be carried out out of hours. Works to be carried out from 9-19 Elizabeth Street side and barricade to be erected on 50 Martin Place side. Works to be carried out in accordance with contractor's Safe Work Method Statement "SWMS"	C3	L6	Low
Health and Safety (Injury and Disease) / Risk of injury	8	Risk of injury to workers from falling materials during demolition or slips or trips in area of works	Single injury	C3	L4	Medium	Engagement of suitably qualified and skilled tradespeople. Works to be carried out in accordance with contractor's SWMS	C3	L5	Low
Health and Safety (Injury and Disease) / Risk of injury	9	Risk of injury to workers from power tools	Single injury	C3	L4	Medium	Engagement of suitably qualified and skilled tradespeople. Works to be carried out in accordance with contractor's SWMS	C3	L5	Low
Health and Safety (Injury and Disease) / Risk of injury	10	Works impact on ability to access adjacent fire stair in 50 Martin Place in case of emergency	Multiple injuries	C2	L5	Medium	Works to be carried out out of hours so low number of occupant. Works to be carried out from 9-19 Elizabeth Street side and barricade to be erected on 50 Martin Place side. Contractor to be directed to move all materials into niche or 9-19 Elizabeth Street in case of alarm to clear stairs. Works to be carried out in accordance with contractor's SWMS	C4	L5	Low
Health and Safety (Injury and Disease) / Risk of injury	11	Risk of injury to workers from electrocution during demolition	Single injury	C2	L4	Medium	Disconnection of power to local area prior to demolition. Works to be carried out in accordance with contractor's SWMS	C2	L5	Low
Health and Safety (Injury and Disease) / Risk of injury or illness	12	Risk of injury or illness from exposure to hazardous materials	Multiple injury or illness	C2	L4	Medium	Works are minor in nature / superficial demolition. Monitoring of materials uncovered by demolition to be undertaken. Works to be carried out in accordance with contractor's SWMS	C2	L5	Low

Appendix 2: Cover Page

Environmental Management Documentation.

Minutes

CSSI 15-7400, 48-50 Martin Place Minor Works, Sydney Metro and Heritage Division Consultation Meeting 4

Date:	05 July 2018
Time:	11.00 – 11.30am
Venue:	Heritage Division Office, Level 6 10 Valentine Ave, Parramatta.
Chair:	Ron Turner

Attendees		
Tim Smith	TS	Director Operations Heritage Division Office of Environment and Heritage
Ron Turner	RT	Heritage Program Manager, Sydney Metro
Holly Rhoades	HR	Savills Project Management
John Salier	JS	Macquarie Group
Scott MacArthur	SM	TKD Heritage Architects
Apologies:		
Nil		

Meeting #/Item	Agenda item	Action
4.1.0	Attendees as noted above	
4.1.1	Purpose of Meeting. Consultation with Heritage Division (HD) and review of documents relating to the minor works at 48-50 Martin PI Sydney	
4.1.2	Documents Reviewed: Heritage Impact Assessment (issue P1 dated 28 June 2018) relating to infill works between 9-19 Elizabeth St and 50 Martin PI as prepared by Tanner Kibble Denton	Note
4.1.3	<p>Background</p> <p>Sydney Metro will shortly commence demolition of 9-19 Elizabeth St. This building has no heritage significance, however it is located immediately adjacent to 50 Martin PI which is listed on the State Heritage Register (SHR 01427) The two buildings are currently connected via five openings in the egress stair located in the north east corner of 50 MP.</p> <p>Removal and making good of the building connections was approved under Modification 3 of CSSI 15-7400 in March 2018.</p> <p>The scope of the works is as noted in the attached drawings and an assessment of impact is provided in the attached TKD assessment. The works are assessed by TKD, on page 5 of the HIA, as follows:</p> <p><i>The works will result in positive heritage impacts, regaining the original form and spatial qualities of the significant north-east stair</i></p>	Note

Meeting #/Item	Agenda item	Action
4.1.4	<p>Benefits</p> <p>The removal of these links under the minor works provisions of the CSSI approval will provide the following additional benefits:</p> <ul style="list-style-type: none"> • Avoids the need for temporary hoardings and other measures that could introduce new impacts. Hoardings would need to be in place at the end of each day but would require removal to complete the works; • Provides more secure, optimal dust protection, and fire separation prior to commencement of heavy demolition of 9-19 Elizabeth St; • Provides more time, better access and working environment for the specialist finishing trades such as tilers painters by avoiding the need to work while heavy demolition is in progress <p>The mitigation measures noted in section 5 of the TKD report have been prepared in consultation with Metro, TKD and Macquarie and are recommended as appropriate.</p> <p>The works will be managed in accordance with the minor works (low impact) provisions of the Sydney Metro Planning Approval (CSSI 15-7400).</p>	Note
4.1.5	<p>Endorsement</p> <p>It was agreed and endorsed by all present that these minor works are consistent with the low impact works provisions of the SSI approval and are recommended for approval by DP&E.</p> <p>TS also agreed that George Philips (refer to the attached CV) would meet the requirement of a <i>suitably qualified heritage architect</i> as described the Conditions of Approval 22.1</p>	Note
4.1.6	<p>Next steps</p> <p>Metro will seek ER endorsement, advise DP&E noting OE&H consultation and commence works shortly after.</p>	Note
4.1.7	Meeting closed at 11:30, Minutes recorded by RT.	
Attachments	Heritage Impact Assessment (issue P1 dated 28 June 2018) relating to infill works between 9-19 Elizabeth St and 50 Martin Pl as prepared by Tanner Kibble Denton	

28 June 2018



Macquarie Group
Level 6, 50 Martin Place
Sydney NSW 2000

Attention: Mr Phil Ransom, Senior Advisor

Dear Mr Ransom

**Subject: Sydney Metro City & Southwest – Critical State Significant approval SSI 15_7400 MOD 3
Infilling of the inter-connecting openings between 48-50 Martin Place and 9-19 Elizabeth Street
Assessment of impact**

Further to your request, please find attached our assessment of the works associated with the infilling of the interconnecting openings between the buildings at 48-50 Martin and 9-18 Elizabeth Street, Sydney. These works are approved as part of Sydney Metro City & Southwest Critical State Significant Infrastructure (CSSI) Approval SSI 15_7400 MOD 3 on 22 March 2018.

The attached provides a description of the works, an assessment of their heritage and physical impacts and outlines measures to be implemented to ensure potential impacts are mitigated.

Yours sincerely

TANNER KIBBLE DENTON ARCHITECTS PTY LTD



George Phillips
Practice Director
NSW Registration No. 7651

Encl: Assessment of Impact of the Works
Attachment A – Architectural Drawings
Attachment B – George Phillips Curriculum Vitae

Tanner Kibble Denton Architects Pty Ltd | ABN 77 001 209 392 | www.tkda.com.au

Sydney Level 1, 19 Foster Street, Surry Hills NSW 2010 Australia | T+61 2 9281 4399

Brisbane Suite 9A, Level 7, 141 Queen Street, Brisbane QLD 4000 Australia | T+61 7 3087 0160

Principals Alex Kibble, Robert Denton, Megan Jones, John Rose | **Practice Directors** George Phillips, Jocelyn Jackson, Melanie Mackenzie

Senior Associates Ian Burgher, Angelo Casado, David Earp, Emma Lee, Scott MacArthur, Renata Ratcliffe, Lachlan Rowe

Associates Paul Dyson, Anna Harris, Sean Williams

NSW Nominated Architects Robert Denton Registration No 5782 | Alex Kibble Registration No 6015

161035 180621 CSSI Interconnecting Openings Impact Assessment.Docx

INFILLING OF INTER-CONNECTING OPENINGS BETWEEN 50 MARTIN PLACE AND 9-19 ELIZABETH STREET ASSESSMENT OF IMPACT OF THE WORKS

1 INTRODUCTION

1.1 Background

This assessment has been prepared to accompany a Pre-Construction Minor Works application relating to Martin Place Metro Station. The subject works comprise the infilling of inter-connecting openings between adjoining buildings at 9-19 Elizabeth Street and 50 Martin Place, Sydney. The infilling of these openings is required to facilitate the future demolition of 9-19 Elizabeth Street.

The works are approved as part of Sydney Metro City & Southwest Critical State Significant Infrastructure Approval SSI 15_7400 MOD 3.

This assessment has been prepared on behalf of Macquarie Group.

1.2 Site location

The former Government Savings Bank of NSW building (later the Commonwealth Bank Building) is located at 50 Martin Place, Sydney, as shown at Figure 1. The building has frontages to Martin Place, Castlereagh Street and Elizabeth Street. The building at 9-19 Elizabeth Street is located to the immediate north of the building, fronting Elizabeth Street.

2 HISTORICAL OVERVIEW

2.1 48-50 Martin Place: the former Government Savings Bank of NSW

The building at 48-50 Martin Place (now known as 50 Martin Place) was constructed between 1925 and 1928 as the offices and retail branch of the Government Savings Bank of New South Wales. It was owned and occupied by the Commonwealth Bank of Australia from 1932 until its purchase by Macquarie Group in 2012. Macquarie completed a comprehensive refurbishment of the building as its global headquarters in 2014.

The building is one of the most important examples of the American influenced Inter-War Beaux-Arts Style in Australia. The building retains a substantial amount of original fabric and retains significant interiors. These include the ground floor banking chamber, public spaces associated with the safe deposit vault and the stairs and lift lobbies at the northern end of the building. These spaces all demonstrate the use of very high quality materials and excellent craftsmanship.

Of exceptional cultural heritage significance for its distinctive and innovative architectural design and historic importance, the building is included in the NSW State Heritage Register and listed as a heritage item by the City of Sydney.

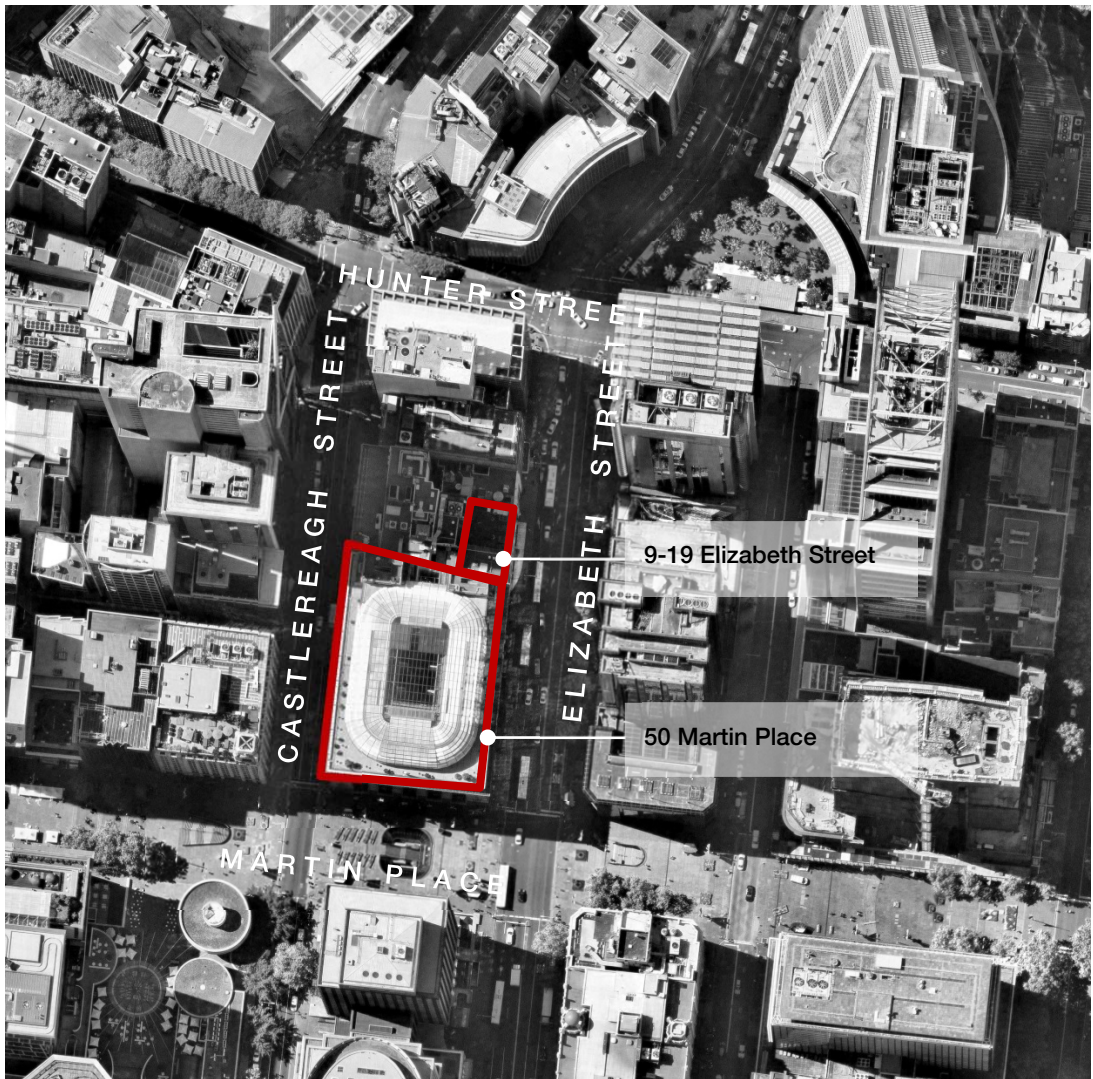
2.2 9-19 Elizabeth Street

The building at 9-19 Elizabeth Street was completed in 1966 to the design of Alexander Kann Finch & Associates. The Australian Taxation Office, which occupied part of 50 Martin Place, moved into the part of the newly completed building from 1967. Five openings were formed between the two adjoining buildings at this time. The openings are located within the curved end walls of the original 1928 north-east egress stair at 50 Martin Place, connecting through to 9-19 Elizabeth Street at levels 1, 3, 4, 5 and 7.

9-19 Elizabeth Street is not considered to have any architectural merit or heritage value, and is not included in any statutory heritage listings.



Key Plan



- 1 Location plan, not to scale.
Source: Google Maps with TKD overlay.



3 HERITAGE SIGNIFICANCE

The north-east stair is assessed in the 2012 '48 Martin Place Conservation Management Plan' as having exceptional heritage significance. Other than the five openings formed on the north side at levels 1, 3, 4, 5 and 7, the stair is substantially intact in plan form and fabric, retaining original terrazzo flooring, glazed wall tiles and bronze and timber balustrading (refer figures 2 and 3).

The 1967 openings are visually and physically intrusive and, except insofar as they demonstrate a minor phase in the history of the use of the building, have no heritage value.



2 The 1967 opening in the north-east stair at level 1.
Source: TKD Architects.

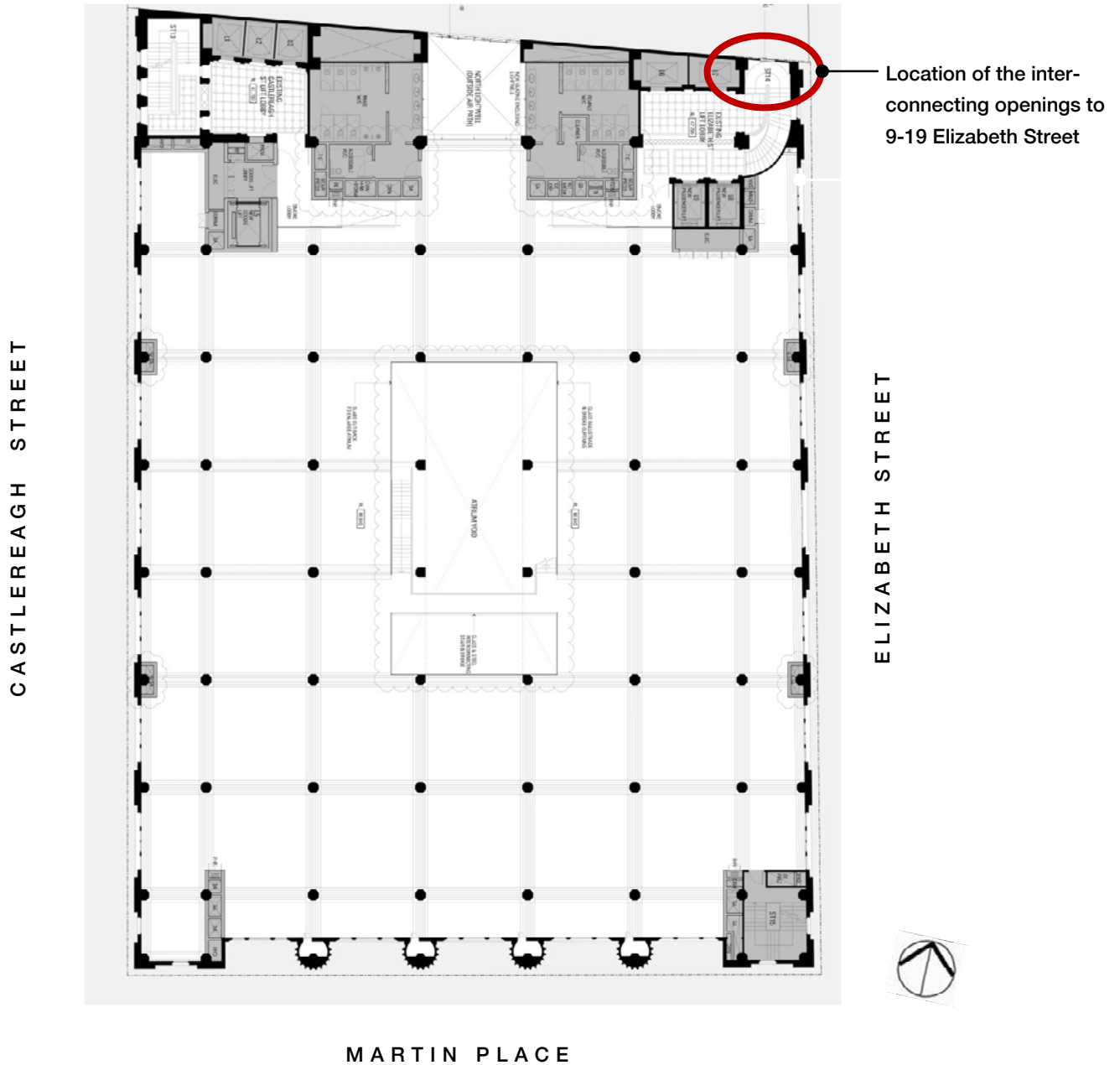


3 The 1967 opening at level 1 viewed from within 9-19 Elizabeth Street.
Source: TKD Architects.

4 DESCRIPTION OF THE WORKS

The approved works comprise the infilling of the five openings and the reinstatement of the original appearance of the stair. The original curved north walls will be reinstated and internally finished to match the original glazed tiles and hard plaster. Externally, the walls will be rendered to match the original external finish of the north wall of the building.

The works are described on architectural drawings AR.TD.0000 to AR.TD.0007 prepared by Tanner Kibble Denton Architects on behalf of Macquarie (refer Attachment A).



4 Typical floor plan of 50 Martin Place showing the location of the inter-connecting openings within the north-east stair. Not to scale.
Source: JPW Architects.

5 ASSESSMENT OF THE WORKS

5.1 Heritage impacts

As assessed in the Sydney Metro 'Chatswood to Sydenham Martin Place Station Modification Report', demolition of the building at 9-19 Elizabeth Street will result in a positive heritage impact:

The elements of aesthetic value would not be impacted by the proposed modification. The additional building to be demolished at 9-19 Elizabeth Street to the north does not contribute to the heritage significance or setting of the item. As with the approved project, the demolition of buildings to the north would have a moderate impact on the setting of the heritage item. However, a building of little architectural distinction, its demolition has the potential to enhance the adjoining heritage item through the potential to enhance views to the heritage item and for a sympathetic new development on its site. (p. 72)

Further, the removal of the openings will allow for missing finishes internally and externally to be reconstructed, including blue glazed ceramic wall tiles to match the original. The altered curved end walls will be reinstated to their original design. The works will result in positive heritage impacts, regaining the original form and spatial qualities of the significant north-east stair.

5.2 Physical impacts

Physically, the works comprise the construction of new masonry infill walls within the 1960s door openings and providing new finishes internally and externally to match original finishes. The works will involve the following at each opening:

9-19 Elizabeth Street

- removal of non-significant building fabric and wall linings.

50 Martin Place

- removal of non-significant (1960s) wall tiles from 50 Martin Place, and salvage for re-use or storage;
- removal of non-significant (1960s) steps;
- construction of internal masonry infill walls to reinstate the original curved walls within north-east stair at 50 Martin Place;
- installation of internal tile finishes to match the original;
- installation of internal hard plaster finishes to match the original;
- painting of new and existing hard plaster finishes;
- construction of external masonry infill walls to seal the openings, finished with cement render to match original cement render finishes.

5.3 Mitigation measures

Consistent with the CSSI consent conditions, the following mitigation measures are to be undertaken:

Consent Condition E13 and Sydney Metro mitigation measure item NAH1: archival recording

The interiors of 50 Martin Place affected by the proposed infill works will be photographically recorded in accordance with NSW Heritage Office guidelines.

Consent Condition E22.1 and Sydney Metro mitigation measure item NAH7: Heritage Architect

In relation to CSSI Consent Condition 22.1 which requires that the design of the finishes to the infilled openings be developed in consultation with a suitably qualified heritage architect, refer to the attached curriculum vitae for George Phillips, Practice Director, Tanner Kibble Denton Architects.

Further, to ensure potential physical impacts of the works are minimised during construction, the following mitigation measures will be implemented:

- the engagement of appropriately qualified and skilled tradespeople;
- provision of a heritage induction for tradespeople prior to commencement of works, to ensure that the significance of the stair and its fabric is adequately conveyed;
- protection of adjacent significant fabric, including along access paths.
- monitoring of the works by a heritage architect.

6 CONCLUSIONS

The works to infill the five inter-connecting openings between the buildings at 9-19 Elizabeth Street and 50 Martin Place are approved as part of SSI 15_7400 MOD 3. From a heritage perspective, the works will result in positive outcomes, removing intrusive elements and enhancing the understanding of the original form and finishes of the significant north-east stair within 50 Martin Place.

No adverse heritage impacts are associated with the works relating to the 1966 building at 9-19 Elizabeth Street, which does not contribute to the significance of the place and is approved to be demolished.

Physically, the works are minor in extent and nature, comprising the construction of new masonry infill walls within the 1960s door openings and providing new finishes internally and externally to match original finishes.

The proposed mitigation measures – including the engagement of appropriately qualified tradespeople and the protection of significant building fabric – will ensure that potential physical impacts on the historic stair are minimised. The mitigation measures required by SSI consent conditions E13 and E22 – comprising the preparation of a photographic archival recording and the engagement of a qualified heritage architect – will be undertaken prior to commencement of the works.

ATTACHMENT A – ARCHITECTURAL DRAWINGS

Architectural drawings describing the proposed works to infill the five openings within the north-east stair at 50 Martin Place, Sydney.

AR.TD.0000	Cover sheet and site plan
AR.TD.0001	Location plan and photo
AR.TD.0002	Level 1 proposed infill – plan and elevation
AR.TD.0003	Level 3 proposed infill – plan and elevation
AR.TD.0004	Level 4 proposed infill – plan and elevation
AR.TD.0005	Level 5 proposed infill – plan and elevation
AR.TD.0006	Level 7 proposed infill – plan and elevation
AR.TD.0007	Schedule of Wall Types and Finishes

50 MARTIN PLACE - 9-19 ELIZABETH STREET

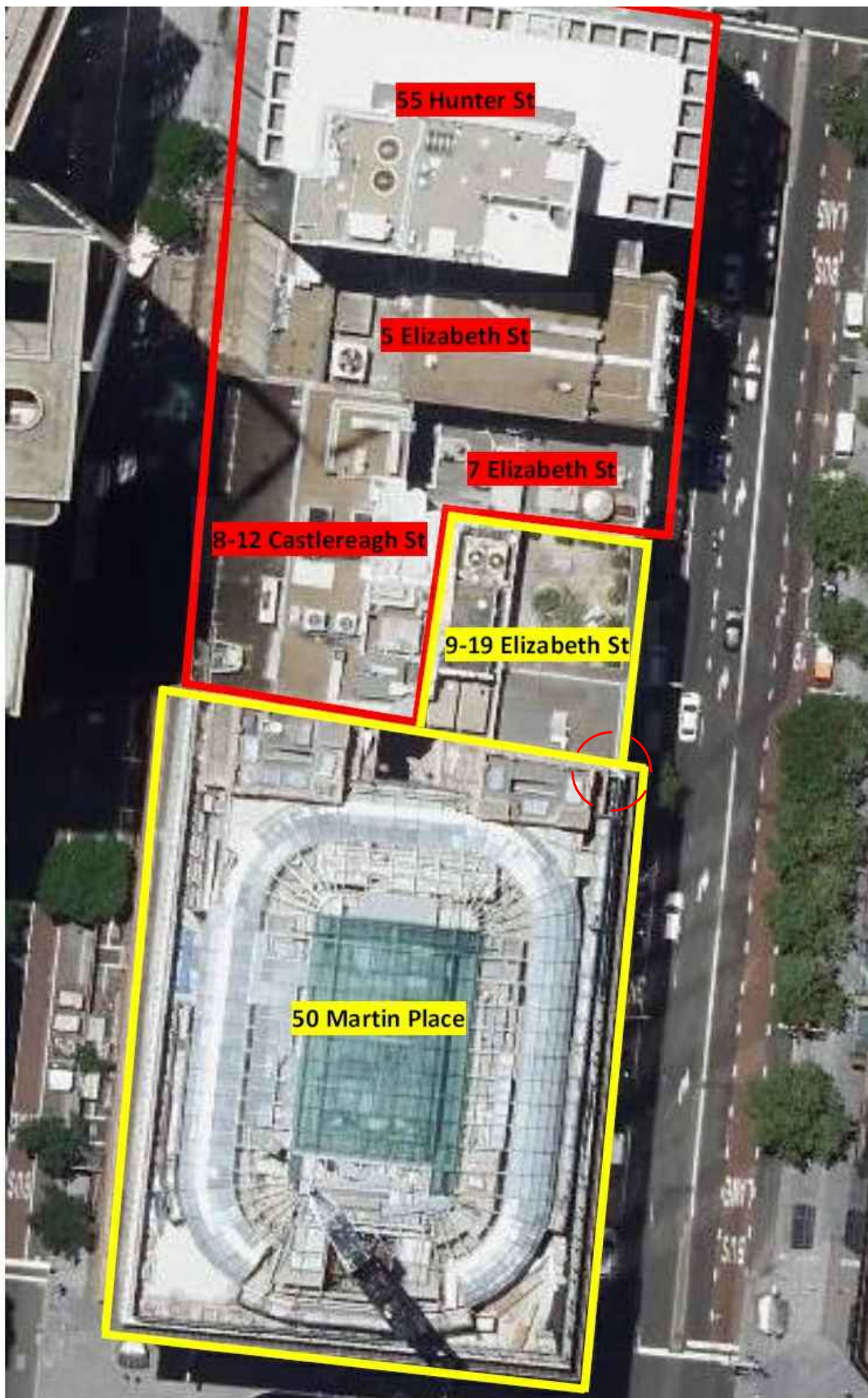
INTERCONNECTING EXIT DOOR WORKS

50 MARTIN PLACE, SYDNEY
MACQUARIE BANK

TENDER DOCUMENTATION

ARCHITECTURAL

Drawing No.	Drawing Title	Scale
ART0000	COVER SHEET AND SITE PLAN	NTS
ART0001	LOCATION PLAN AND PHOTOS OF DOORS	1:500
ART0002	LEVEL ONE - PROPOSED INFILL: PLAN AND ELEVATION	1:20 @A3
ART0003	LEVEL THREE - PROPOSED INFILL: PLAN AND ELEVATION	1:20 @A3
ART0004	LEVEL FOUR - PROPOSED INFILL: PLAN AND ELEVATION	1:20 @A3
ART0005	LEVEL FIVE - PROPOSED INFILL: PLAN AND ELEVATION	1:20 @A3
ART0006	LEVEL SEVEN - PROPOSED INFILL: PLAN AND ELEVATION	1:20 @A3
ART0000	SCHEDULE OF WALL TYPES AND FINISHES	NTS



P4	REVISED TENDER ISSUE	16 /08/17
P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

COVER SHEET AND SITE PLAN

Proj. Dir	Proj. Arch	Drawn
GP	SM	AP/SJZ
Job No.	Date	Scale
170088	JULY 17	NTS

Drawing No.	Revision
AR.TD.0000	P4

Tanner Kibble Denton Architects Pty Ltd

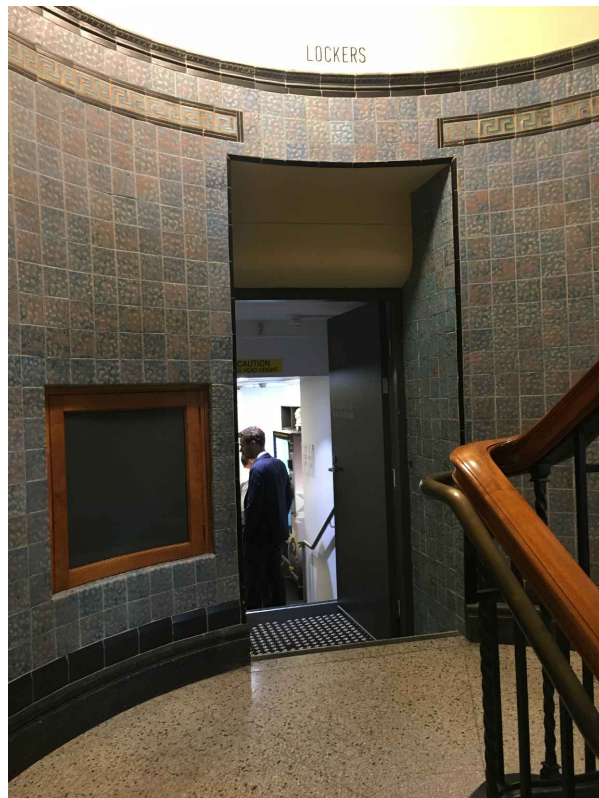
Level 1, 19 Foster Street, Surry Hills NSW 2010 Australia

T +61 2 9281 4399
F +61 2 9281 4337

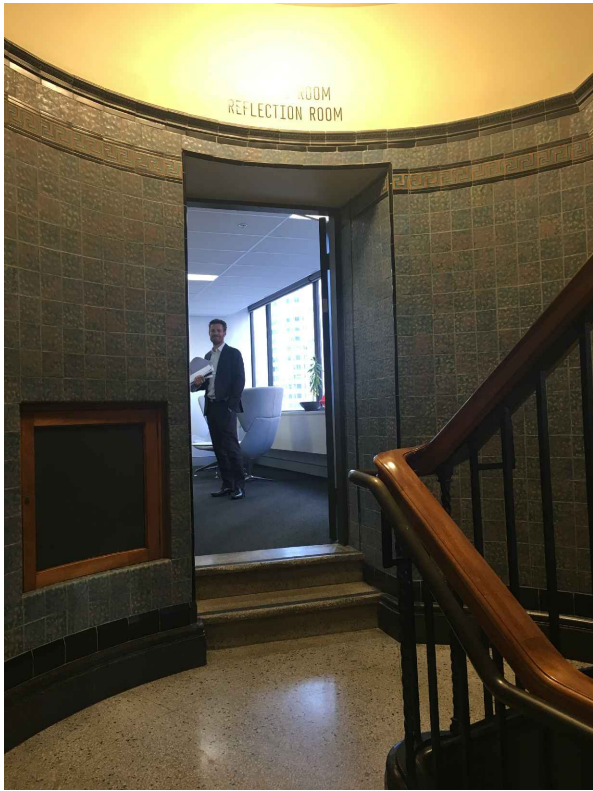
www.tkda.com.au



2 LEVEL 1 DOOR
- NTS



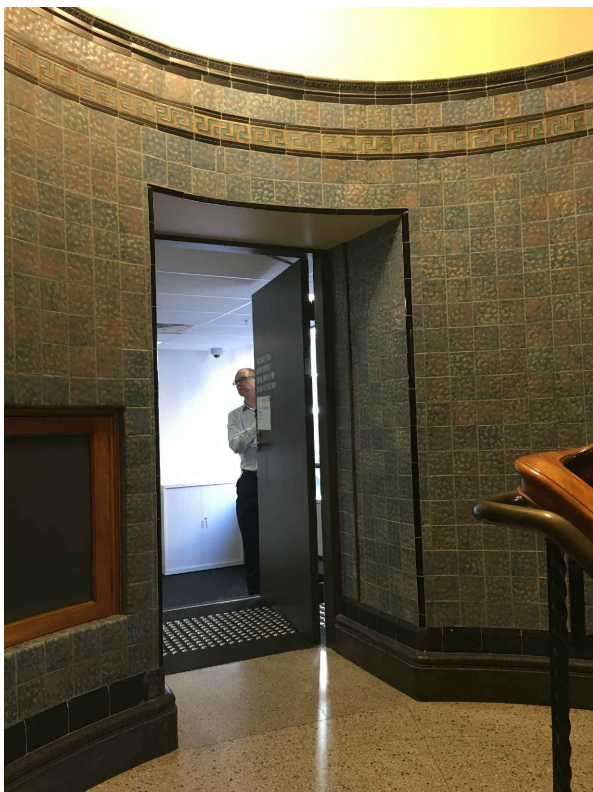
5 LEVEL 5 DOOR
- NTS



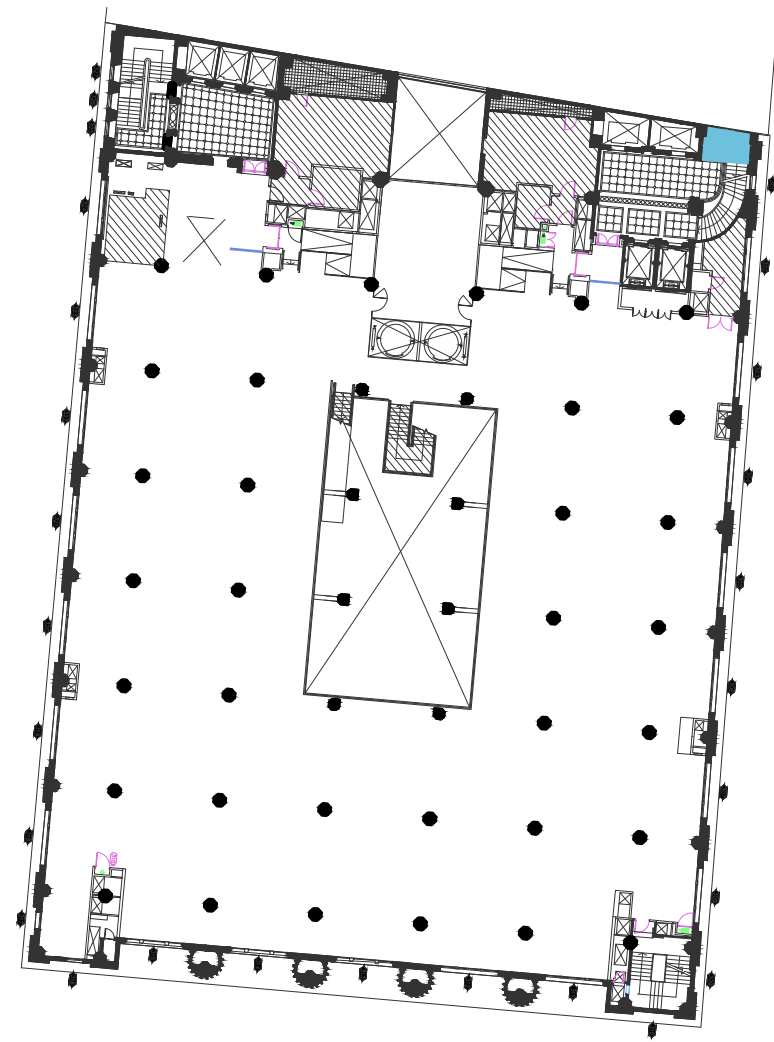
3 LEVEL 3 DOOR
- NTS



6 LEVEL 7 DOOR
- NTS



4 LEVEL 4 DOOR
- NTS



1 50 MARTIN PLACE - NORTH EASTERN STAIR LOCATION PLAN
- 1:500

P2 REVISED TENDER ISSUE 16 /08/17
P1 REVISED TENDER ISSUE 07 /08/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

LOCATION PLAN AND PHOTOS OF DOORS

Proj. Dir	Proj. Arch	Drawn
GP	SM	AP/SJZ
Job No.	Date	Scale
170088	JULY 17	1:500 @ A3

Drawing No.	Revision
AR.TD.0001	P2

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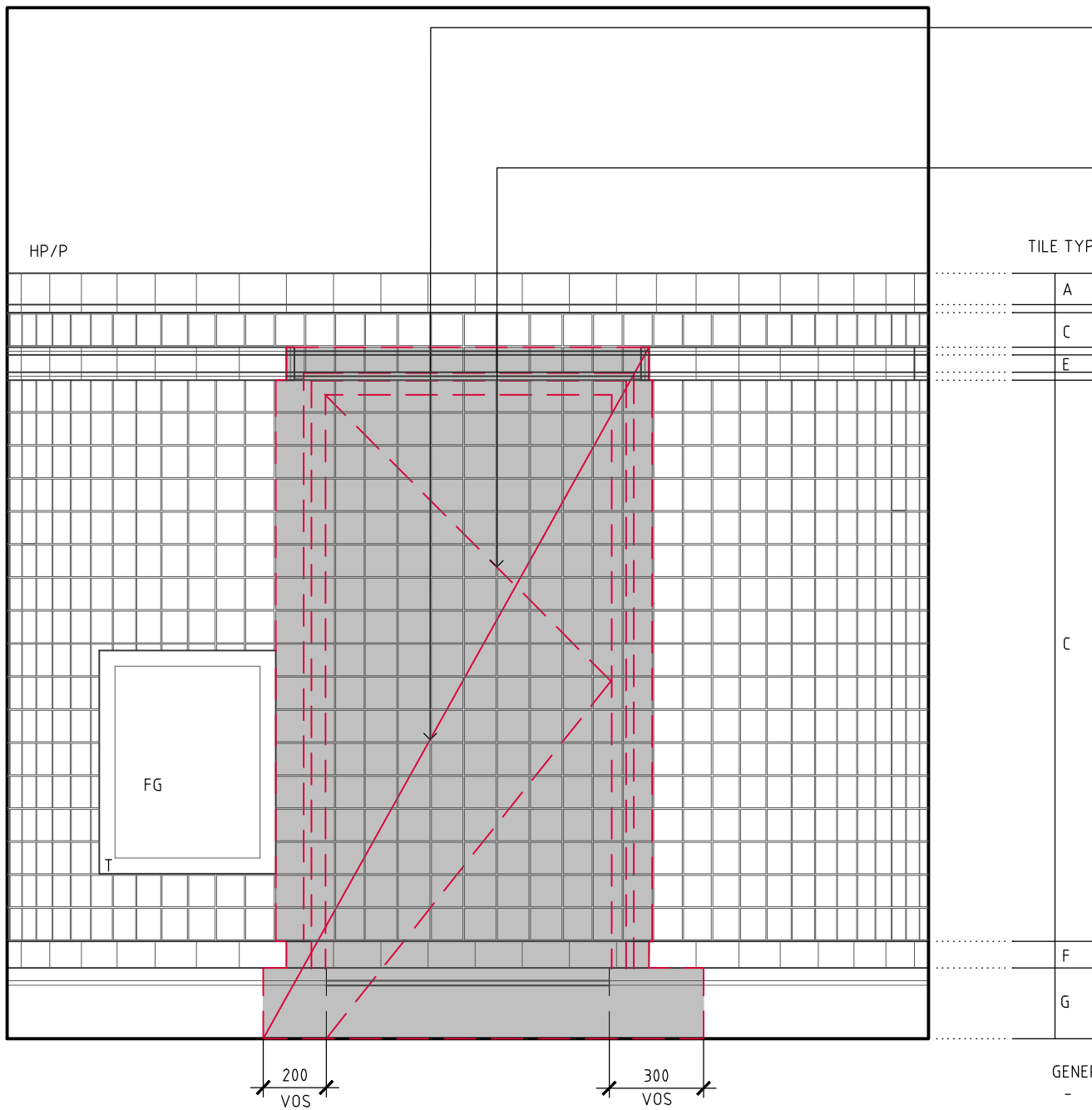
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- EXTENT OF:
- EXISTING TILES TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE/STORAGE
 - NEW AND SALVAGED WALL TILES ON NEW RENDERED WALL

EXISTING DOORSET AND DOOR FRAME TO BE DEMOLISHED



TILE TYPES

- A
- B
- C
- D
- E
- D

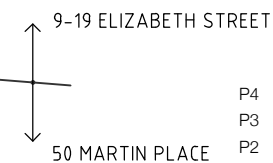
- LEGEND:
- TZ - TERRAZZO
 - HP/P - HARD PLASTER PAINTED
 - T - TIMBER
 - FG - FIXED GLAZING
 - - - DEMOLISH

GENERAL NOTES:

- PROVIDE A METHODOLOGY FOR THE PROTECTION OF HISTORIC FABRIC AND FINISHES PRIOR TO COMMENCEMENT OF WORKS, INCLUDING NON-PHYSICAL FIXING METHODS AND PROPOSED MATERIALS
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NEW BRICK WALL ALIGNMENT WITH 20mm RENDER AND NEW TILES
 NEW CONCRETE BLOCK (200 mm) INFILL WALL, RENDER AND PAINT TO MATCH EXISTING NORTH WALL TO 50 MARTIN PLACE, TIED IN WITH THE EXISTING WALL USING STANDARD BRICK CONTROL TIES, WITH WATERPROOFING AND FIREPROOFING AT CONTROL JOINT
 DOOR FRAME AND DOORSET TO BE DEMOLISHED AND SALVAGED (INCLUDING SECURITY HARDWARE).

EXISTING TILES TO DOORWAY REVEALS TO BE REMOVED AND SALVAGED FOR REUSE/STORAGE



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P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

LEVEL ONE - PROPOSED INFILL PLAN AND ELEVATION

Proj. Dir Proj. Arch Drawn

GP SM AP/SJZ

Job No. Date Scale

170088 JULY 17 1:20 @ A3

Drawing No.

AR.TD.0002

Revision

P4

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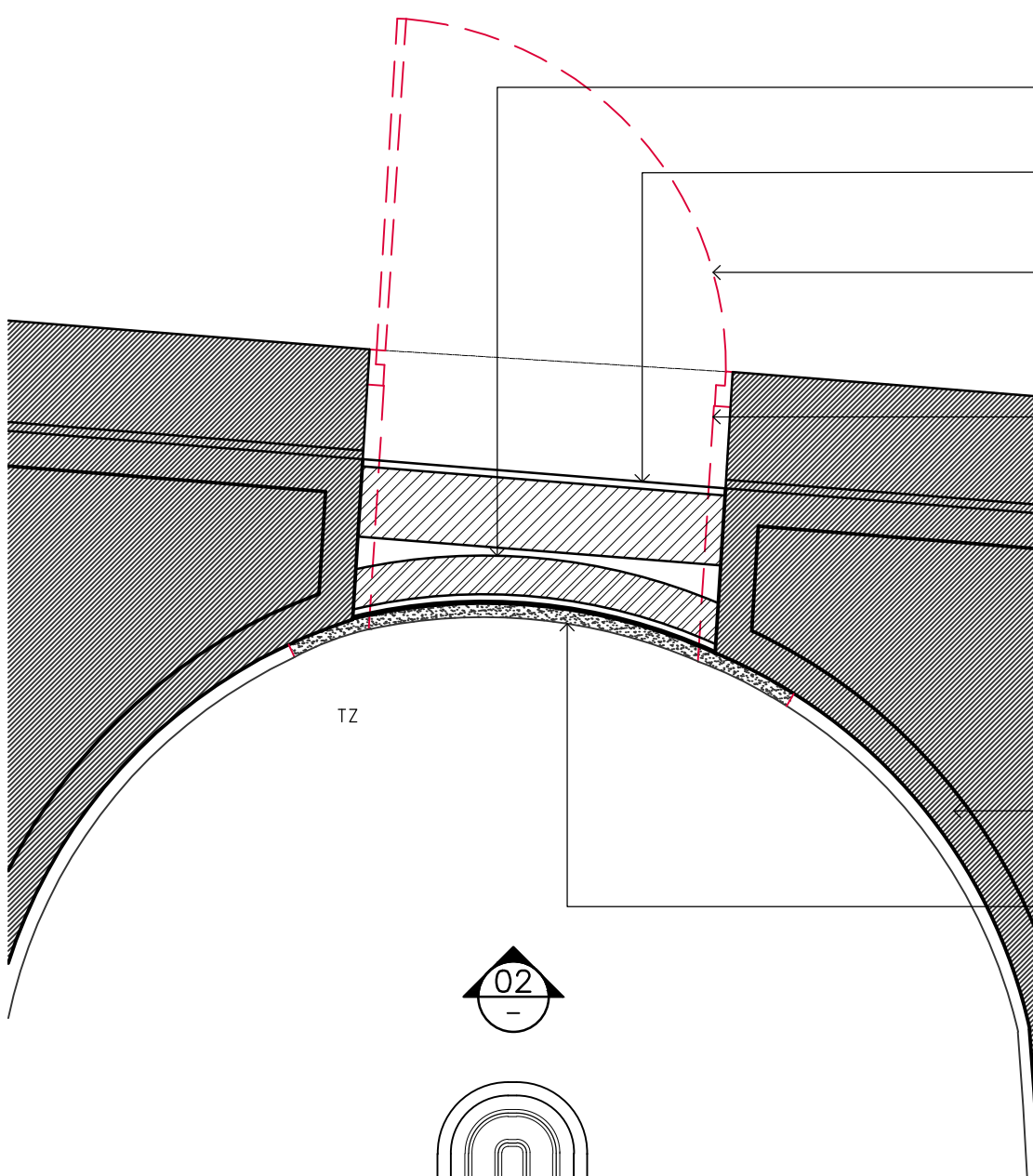
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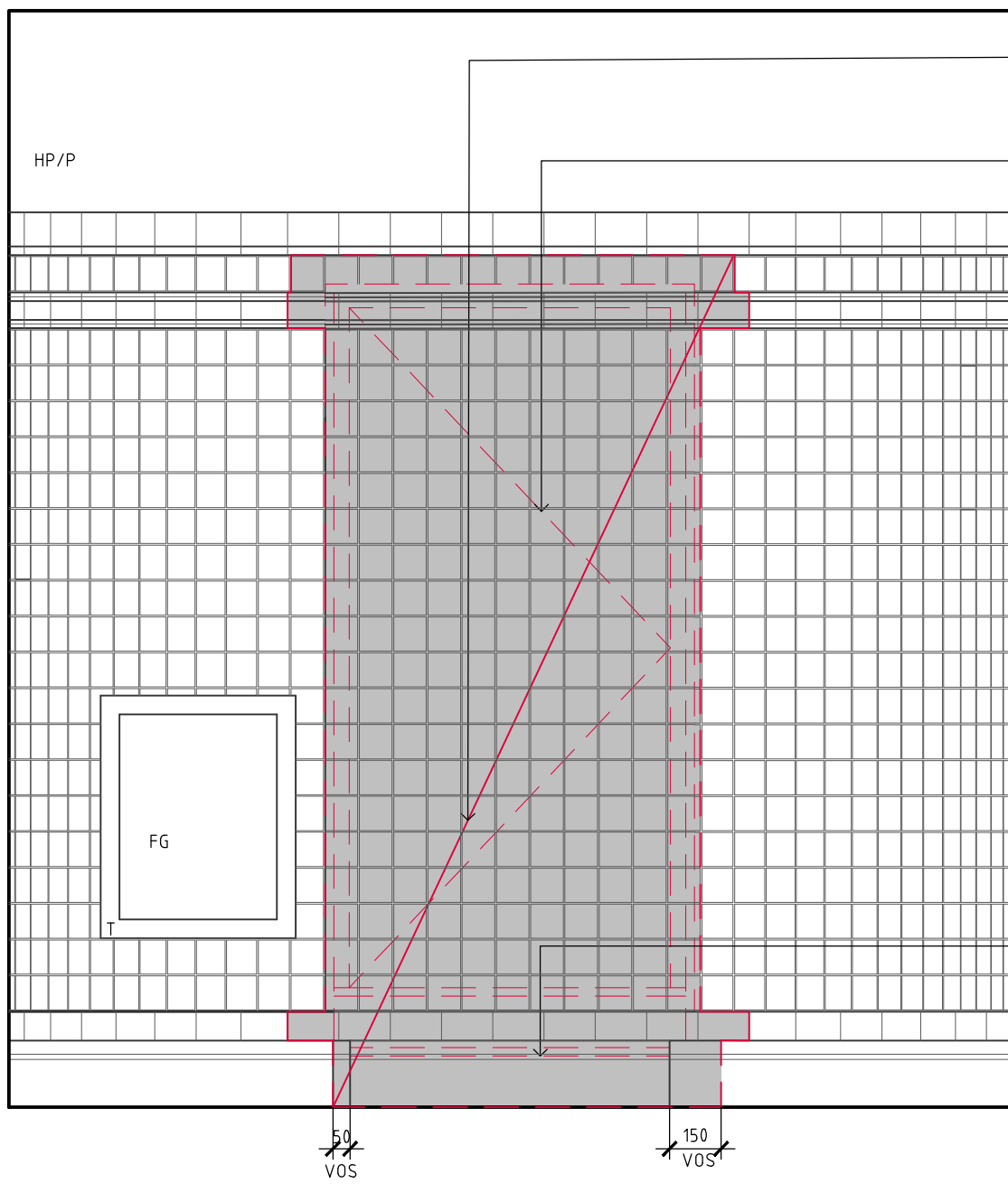
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2 ELEVATION
1:20 @ A3



1 PLAN
1:20 @ A3



- EXTENT OF:
- EXISTING TILES TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE/STORAGE
 - NEW AND SALVAGED WALL TILES ON NEW RENDERED WALL

EXISTING DOORSET AND DOOR FRAME TO BE DEMOLISHED

TILE TYPES

A
B
C
D
E
D

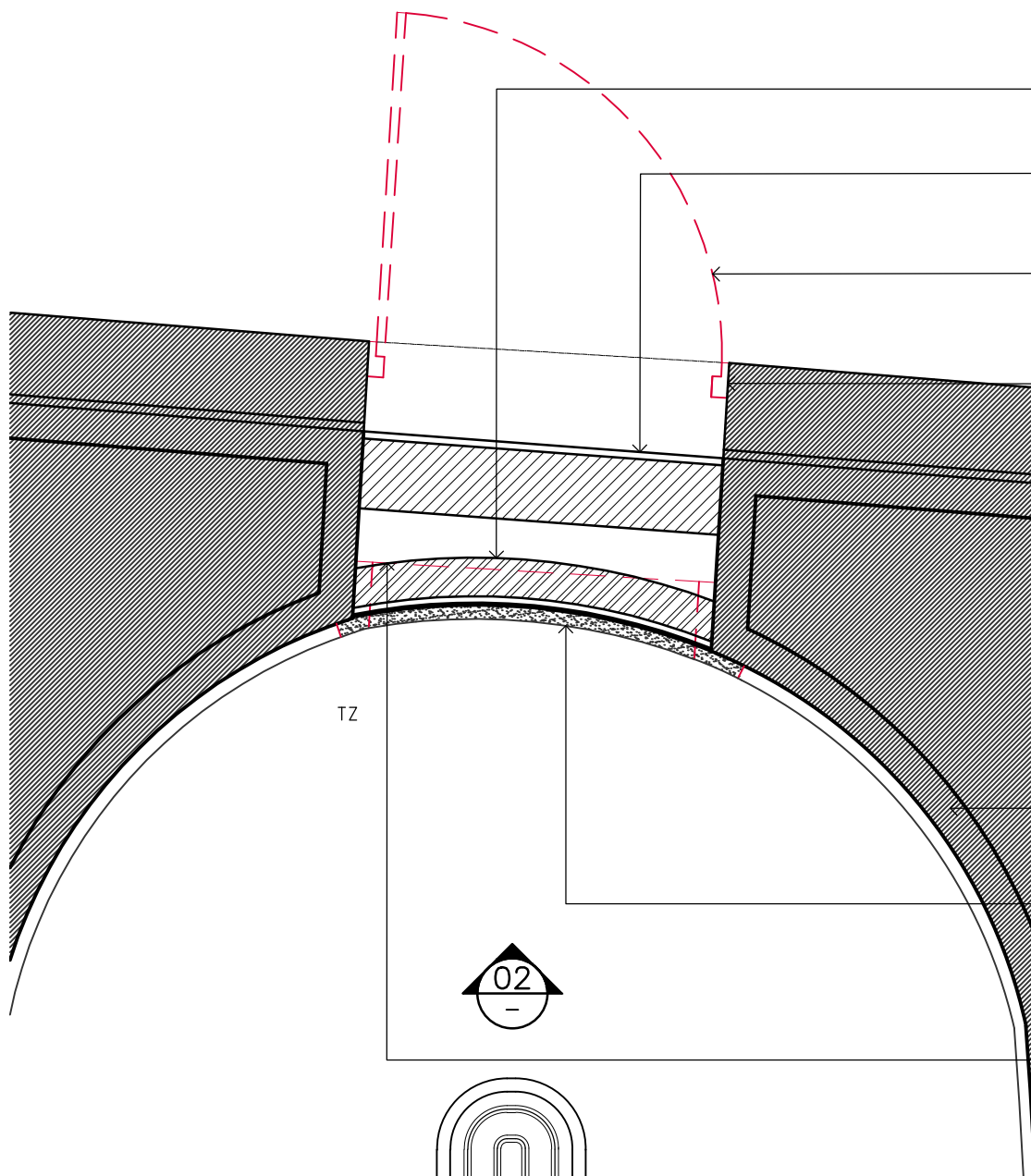
- LEGEND:
- TZ - TERRAZZO
 - HP/P - HARD PLASTER PAINTED
 - T - TIMBER
 - FG - FIXED GLAZING
 - - DEMOLISH

DEMOLISH EXISTING TERRAZZO TREADS

GENERAL NOTES:

- PROVIDE A METHODOLOGY FOR THE PROTECTION OF HISTORIC FABRIC AND FINISHES PRIOR TO COMMENCEMENT OF WORKS, INCLUDING NON-PHYSICAL FIXING METHODS AND PROPOSED MATERIALS
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2 ELEVATION
- 1:20 @ A3



- NEW BRICK WALL ALIGNMENT WITH 20mm RENDER AND NEW TILES
- NEW CONCRETE BLOCK (200 mm) INFILL WALL, RENDER AND PAINT TO MATCH EXISTING NORTH WALL TO 50 MARTIN PLACE, TIED IN WITH THE EXISTING WALL USING STANDARD BRICK CONTROL TIES, WITH WATERPROOFING AND FIREPROOFING AT CONTROL JOINT
- DOOR FRAME AND DOORSET TO BE DEMOLISHED AND SALVAGED (INCLUDING SECURITY HARDWARE).

EXISTING TILES TO DOORWAY REVEALS TO BE REMOVED AND SALVAGED FOR REUSE/STORAGE

9-19 ELIZABETH STREET
50 MARTIN PLACE

P4	REVISED TENDER ISSUE	16 /08/17
P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

LEVEL THREE - PROPOSED INFILL PLAN AND ELEVATION

Proj. Dir Proj. Arch Drawn

GP SM AP/SJZ

Job No. Date Scale

170088 JULY 17 1:20 @ A3

Drawing No.

AR.TD.0003

Revision

P4

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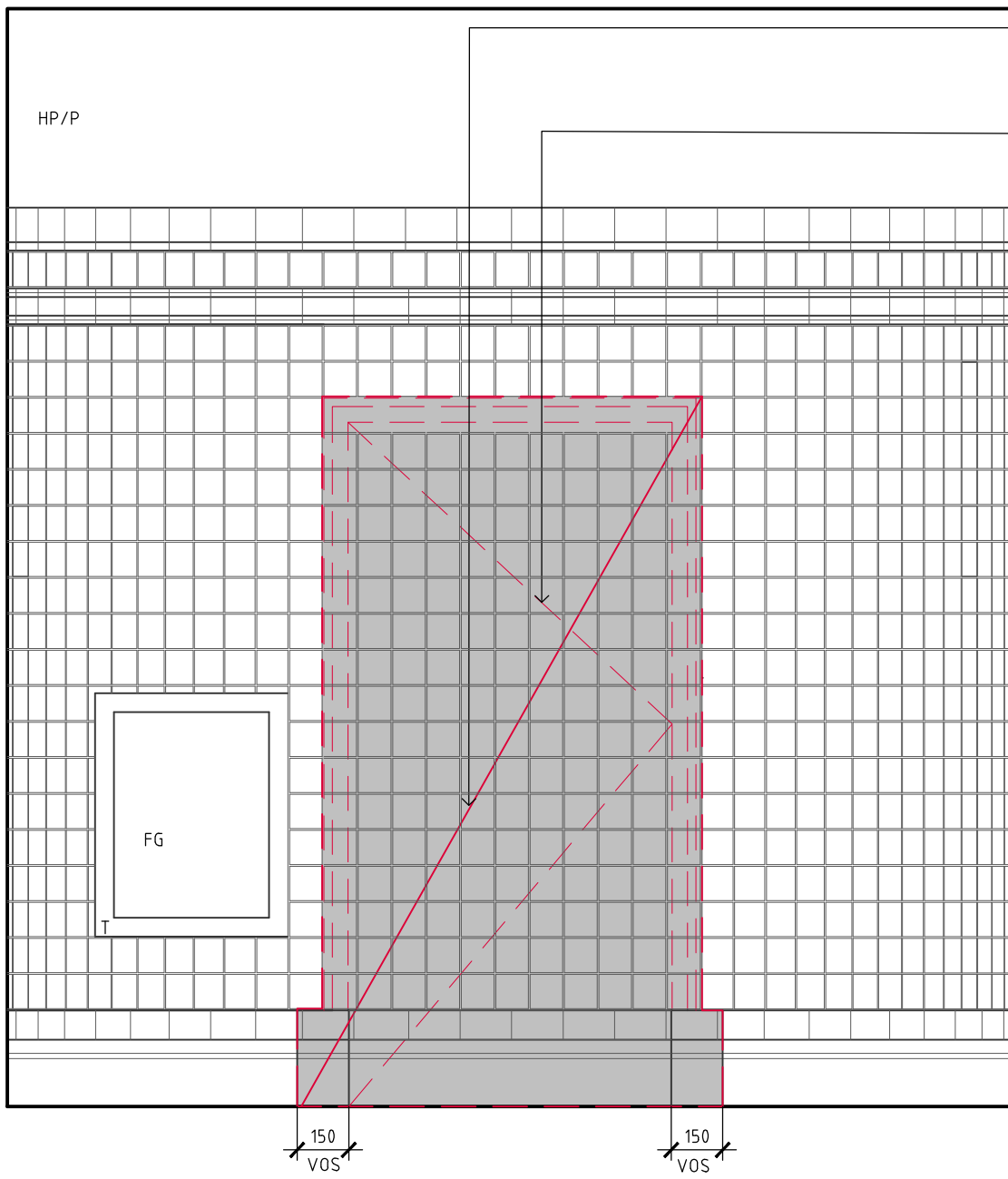
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1 PLAN
- 1:20 @ A3



- EXTENT OF:
- EXISTING TILES TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE/STORAGE
 - NEW AND SALVAGED WALL TILES ON NEW RENDERED WALL

EXISTING DOORSET AND DOOR FRAME TO BE DEMOLISHED

TILE TYPES

- A
- B
- C
- D
- D
- E

C

- LEGEND:
- TZ - TERRAZZO
 - HP/P - HARD PLASTER PAINTED
 - T - TIMBER
 - FG - FIXED GLAZING
 - - DEMOLISH

GENERAL NOTES:

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DOOR FRAME AND DOORSET TO BE DEMOLISHED AND SALVAGED (INCLUDING SECURITY HARDWARE).

EXISTING TILES TO DOORWAY REVEALS TO BE REMOVED AND SALVAGED FOR REUSE/STORAGE

9-19 ELIZABETH STREET

50 MARTIN PLACE

P4	REVISED TENDER ISSUE	16 /08/17
P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

LEVEL FOUR - PROPOSED INFILL PLAN AND ELEVATION

Proj. Dir Proj. Arch Drawn

GP SM AP/SJZ

Job No. Date Scale

170088 JULY 17 1:20 @ A3

Drawing No.

AR.TD.0004

Revision

P4

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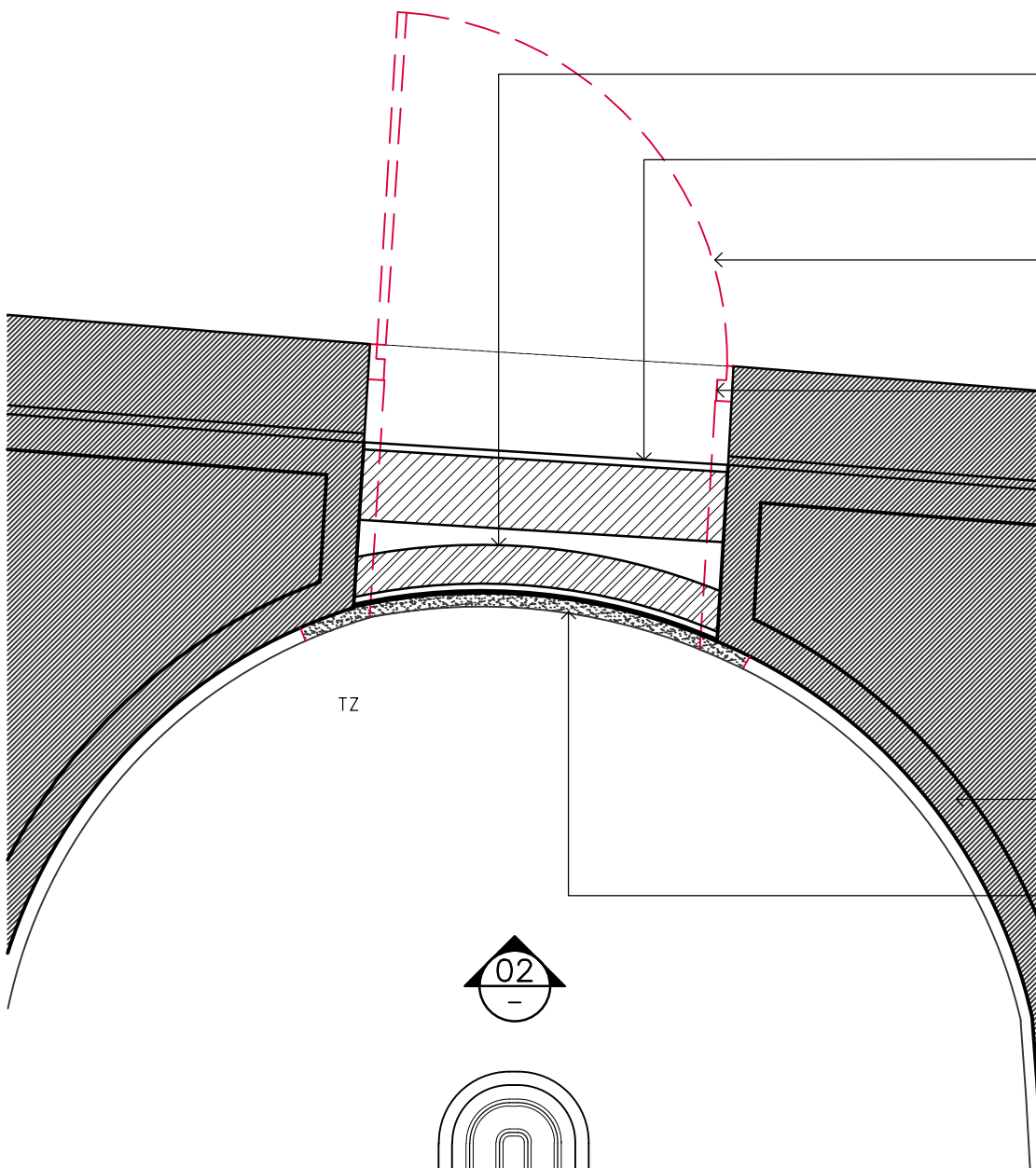
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2 ELEVATION
1:20 @ A3



9-19 ELIZABETH STREET

50 MARTIN PLACE

PRESUMED EXISTING WALL

NEW PROFILED PLASTER SKIRTING TO MATCH EXISTING PROFILE

Proj. Dir Proj. Arch Drawn

GP SM AP/SJZ

Job No. Date Scale

170088 JULY 17 1:20 @ A3

Drawing No.

AR.TD.0004

Revision

P4

Tanner Kibble Denton Architects Pty Ltd

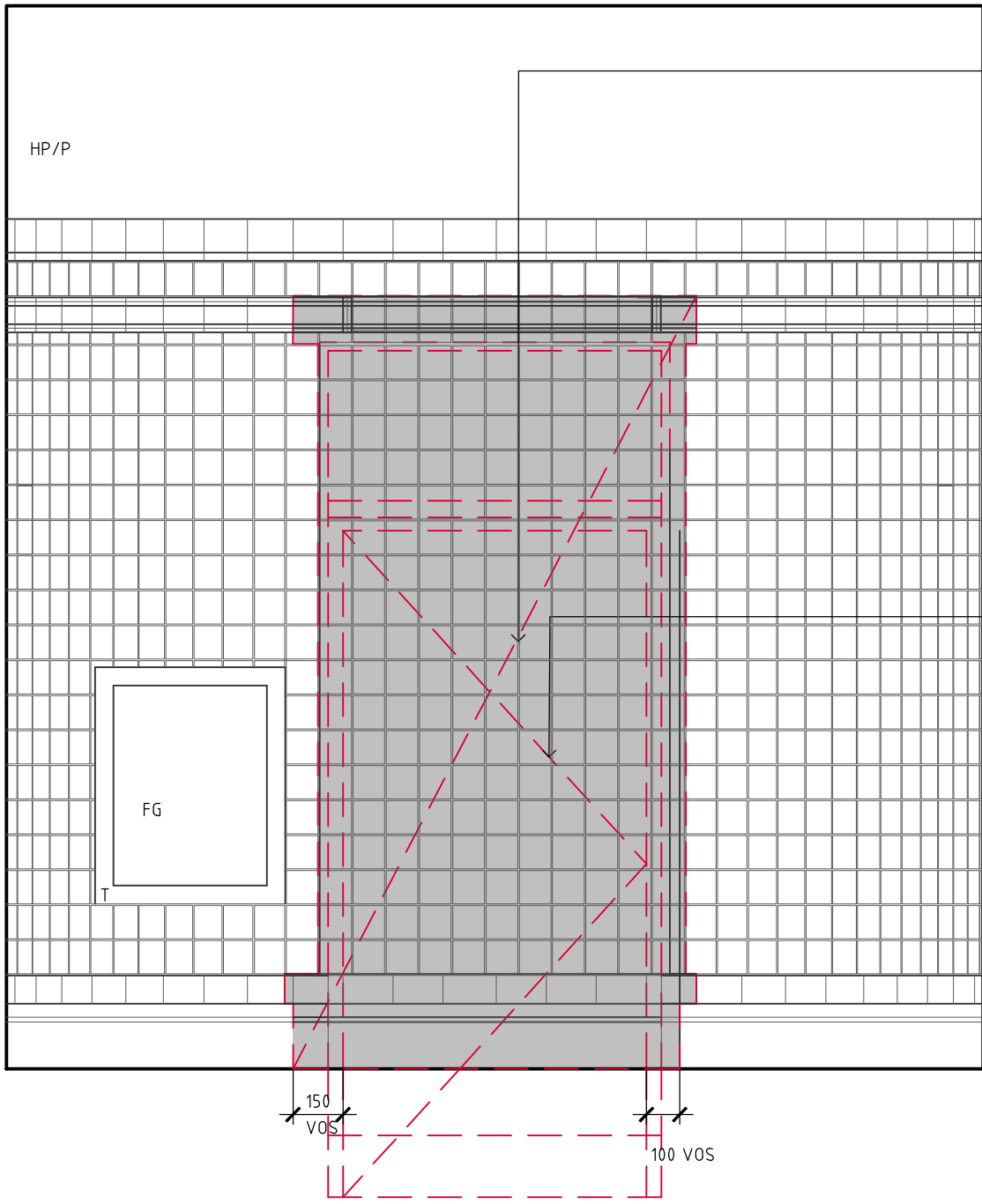
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1 PLAN
1:20 @ A3



- EXTENT OF:
- EXISTING TILES TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE/STORAGE
 - NEW AND SALVAGED WALL TILES ON NEW RENDERED WALL

TILE TYPES

- A
- B
- C
- D
- E
- D

EXISTING DOORSET AND DOOR FRAME TO BE DEMOLISHED

- LEGEND:
- TZ - TERRAZZO
 - HP/P - HARD PLASTER PAINTED
 - T - TIMBER
 - FG - FIXED GLAZING
 - - - DEMOLISH - - -

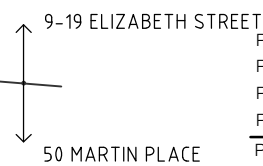
- LEGEND:
- TZ - TERRAZZO
 - HP/P - HARD PLASTER PAINTED
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EXISTING TILES TO DOORWAY REVEALS TO BE REMOVED AND SALVAGED FOR REUSE/STORAGE



P4	REVISED TENDER ISSUE	16 /08/17
P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

LEVEL FIVE - PROPOSED INFILL PLAN AND ELEVATION

Proj. Dir	Proj. Arch	Drawn
GP	SM	AP/SJZ
Job No.	Date	Scale
170088	JULY 17	1:20 @ A3

Drawing No.

AR.TD.0000

Revision

P4

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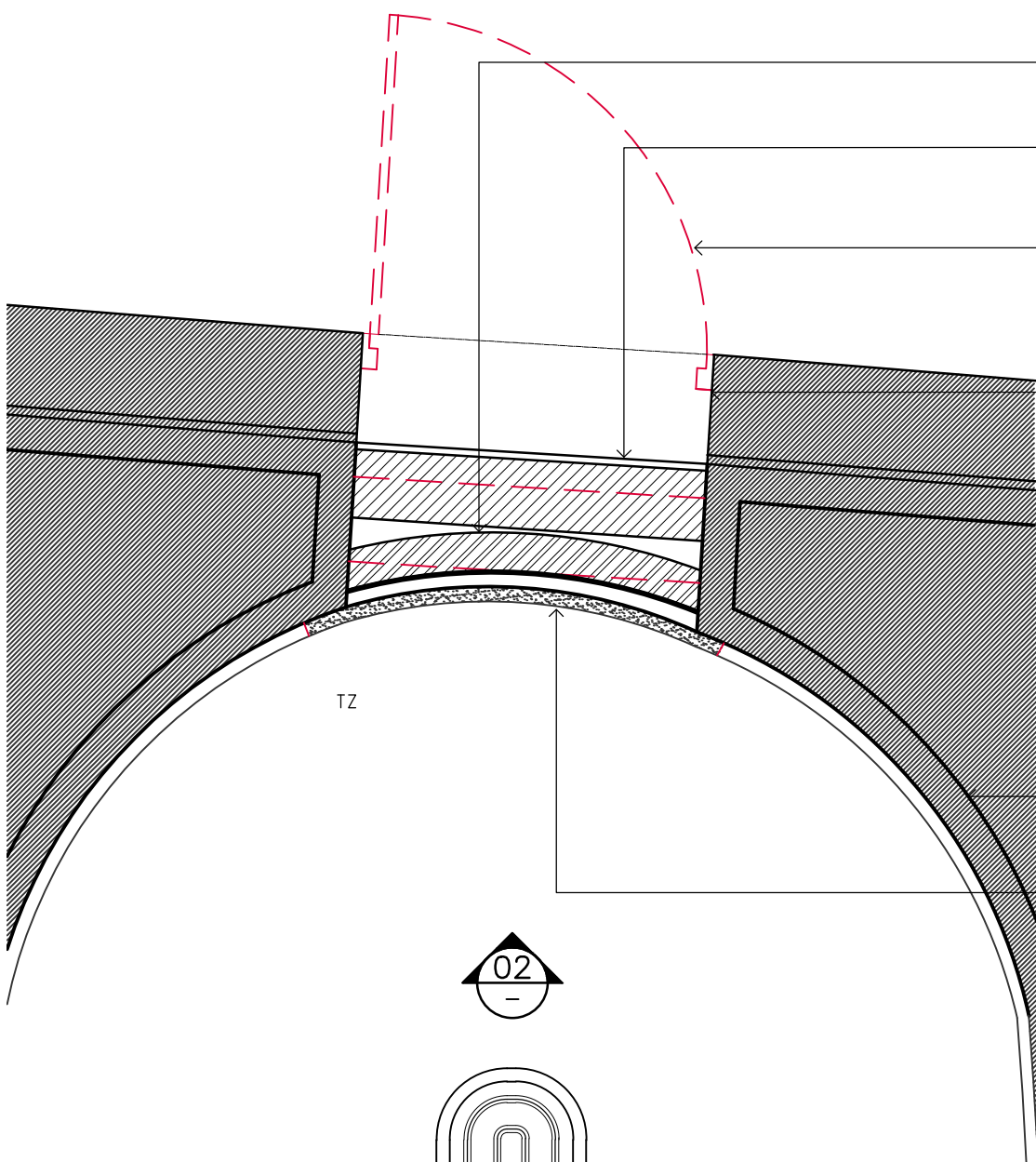
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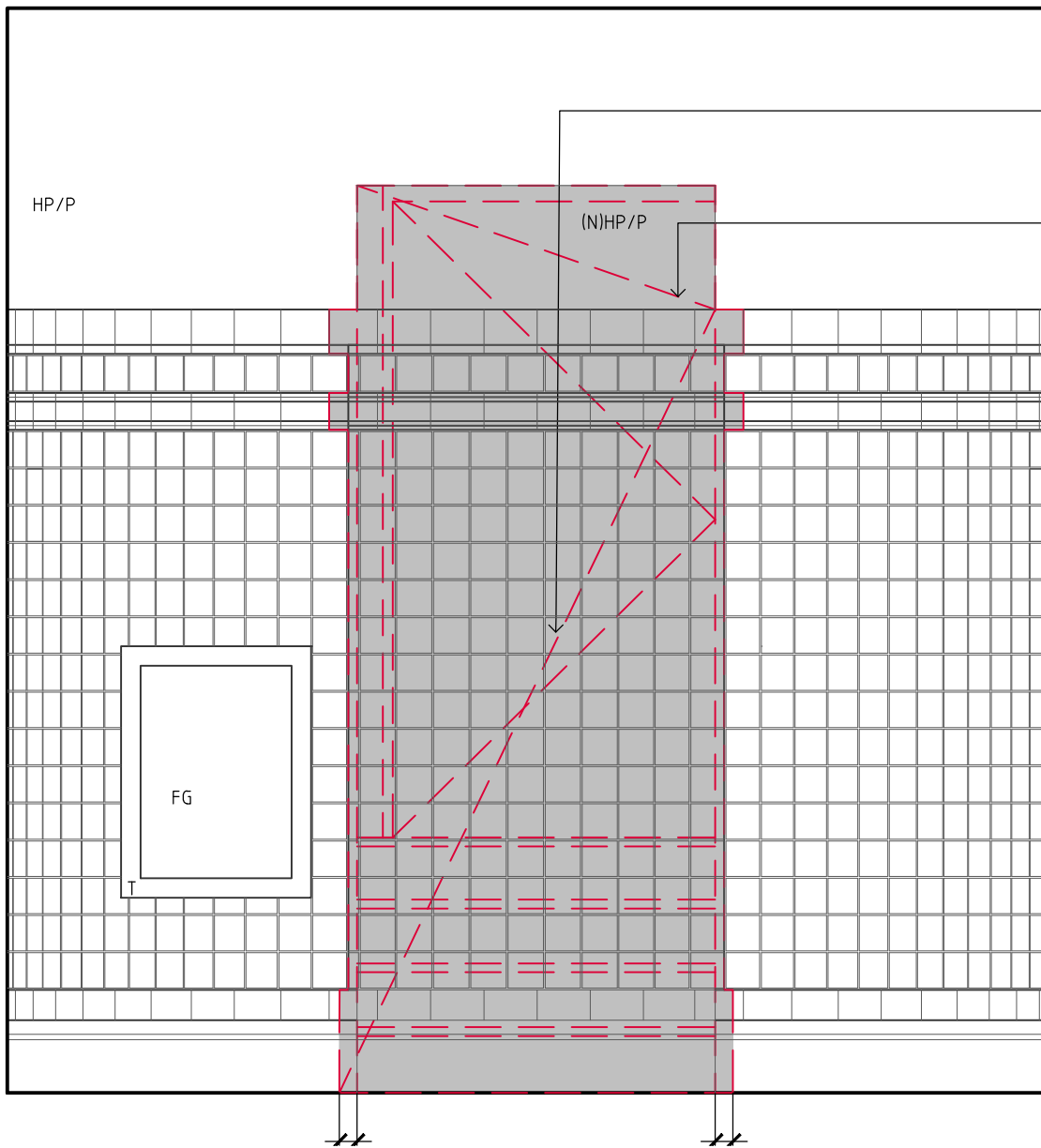
2 ELEVATION
1:20 @ A3



PRESUMED EXISTING WALL

NEW PROFILED PLASTER SKIRTING TO MATCH EXISTING PROFILE

1 PLAN
1:20 @ A3



EXISTING DOORSET AND DOOR FRAME TO BE DEMOLISHED

NEW PLASTERED BRICK INFILL, PAINT FINISH TO MATCH EXISTING. SCORE V-JOINT JUNCTION WITH EXISTING PLASTER, REPAINT EXISTING HARD PLASTER WALL TO MATCH EXISTING COLOUR/GLOSS LEVEL TO NEAREST INTERNAL CORNER

TILE TYPES

- A
- B
- C
- D
- E
- D

C

F

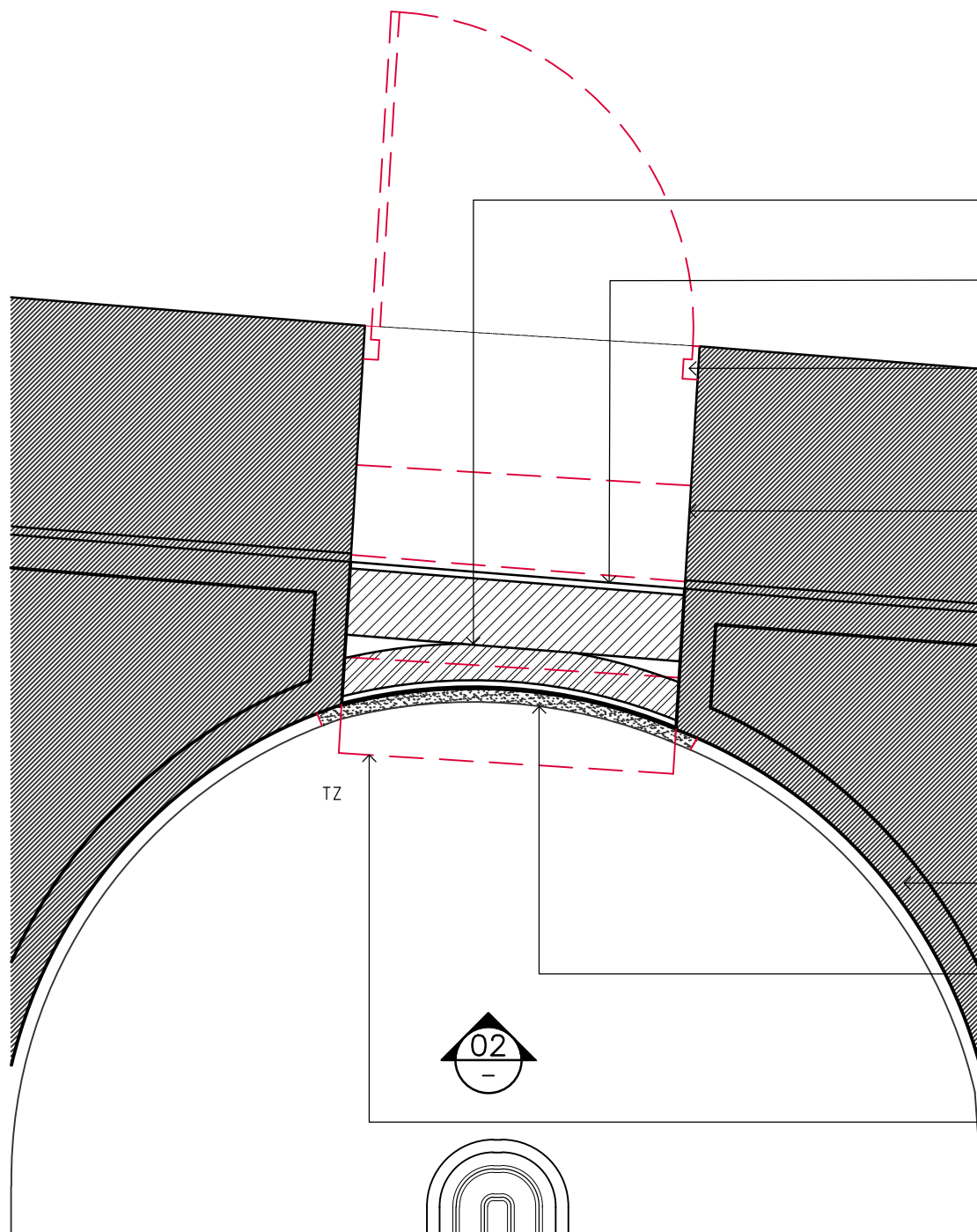
G

LEGEND:
 TZ - TERRAZZO
 HP/P - HARD PLASTER PAINTED
 T - TIMBER
 FG - FIXED GLAZING
 --- DEMOLISH ---

2 ELEVATION
 1:20 @ A3

GENERAL NOTES:

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EXISTING TILES TO DOORWAY REVEALS TO BE REMOVED AND SALVAGED FOR REUSE/STORAGE

9-19 ELIZABETH STREET

50 MARTIN PLACE

P4	REVISED TENDER ISSUE	16 /08/17
P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

50 MARTIN PLACE - 9-19 ELIZABETH STREET EXIT WORKS

Drawing Title

LEVEL SEVEN - PROPOSED INFILL PLAN AND ELEVATION

Proj. Dir	Proj. Arch	Drawn
GP	SM	AP/SJZ
Job No.	Date	Scale
170088	JULY 17	1:20 @ A3

Drawing No.

AR.TD.0006

Revision

P4

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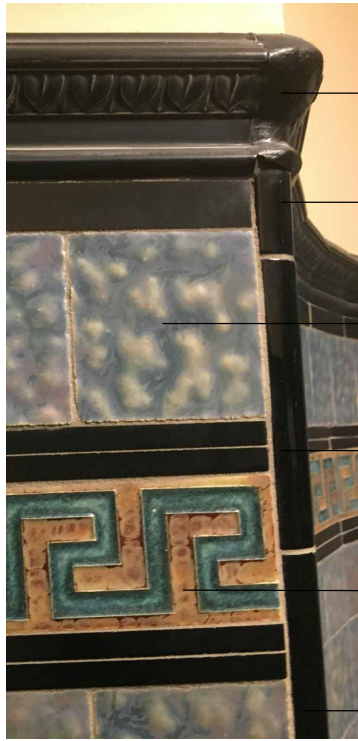
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1 PLAN
 1:20 @ A3

SCHEDULE OF TILES/FINISHES



TYPE	DESCRIPTION	DIMENSIONS (mm)	QUANTITIES					CONTINGENCY TOTAL	
			LEVEL 1	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 7	(allow 25%)	
TYPE A	CORNICE (BLACK, EGG AND DART)	150X75	-	-	-	-	8	2	10
TYPE B	LARGE LISTELLO (BLACK)	150X25	-	-	-	-	8	2	10
TYPE C	SQUARE CERAMIC	100X100	216	222	204	209	176	257	1284
TYPE D	SMALL LISTELLO (BLACK)	150X20	32	32	-	32	32	32	160
TYPE E	GREEK KEY	150X75	8	8	-	8	8	8	40
TYPE H	CORNER TILE (BLACK)	150X20	-	-	-	-	-	-	-
TYPE F	SPLAY SKIRTING (BLACK)	150X100	9	9	9	9	8	11	55
TYPE G	PROFILED MOULDED PLASTER (BLACK)	190 HIGH	1360mm	11200mm	1220mm	1220mm	1120mm	1510mm	7550mm

P4	REVISED TENDER ISSUE	16 /08/17
P3	REVISED TENDER ISSUE	07 /08/17
P2	REVISED PRELIMINARY ISSUE	21 /07/17
P1	PRELIMINARY ISSUE	11 /07/17

Project

**50 MARTIN PLACE - 9-19
ELIZABETH STREET EXIT WORKS**

Drawing Title

**SCHEDULE OF WALL TILE TYPES AND
FINISHES**

Proj. Dir	Proj. Arch	Drawn
GP	SM	AP/SJZ
Job No.	Date	Scale
170088	JULY 17	NTS

Drawing No.	Revision
AR.TD.0007	P4

Tanner Kibble Denton Architects Pty Ltd

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George Phillips Practice Director



B.Arch (Hons)
B.PD (Melb)
RAIA

Registered Architect
NSW Registration - 7651

As a Practice Director, George Phillips has over twenty years experience in building conservation. His experience includes adaptive re-use, conservation and refurbishment works, the preparation of conservation management plans, urban heritage studies, feasibility reports and heritage assessments. Since joining Tanner Kibble Denton Architects in 2007 George's projects have included the conservation and adaptation of the Commonwealth Bank Buildings at 120 Pitt Street and 48 Martin Place, Sydney Town Hall, Admiralty House, Goonoo Goonoo Station at Tamworth and Graythwaite at Shore School, North Sydney.

Education

1985 Bachelor of Planning and Design
University of Melbourne
1993 Bachelor of Architecture
University of Melbourne
2005 Architects Registration Board (Victoria)
Registered Architect 6444
2007 Architects Registration Board (NSW)
Registered Architect 7651
2011 Architects Registration Board (QLD)
Registered Architect 4542

Professional Associations

- > 2007 Australian Institute of Architects Member
- > 2007 Australian Institute of Architects NSW Chapter Heritage Committee Member
- > 2011 Australian Institute of Architects NSW Chapter Heritage Committee Chair

Professional Experience

2012- *Tanner Kibble Denton Architects*
Practice Director

2011-*Tanner Architects*
Senior Associate
2007-2010 *Tanner Architects*
Associate

2005-2006 *Lovell Chen, Melbourne*
Senior Associate, Architect

1994-2005 *Allom Lovell & Associates (Lovell Chen), Melbourne*
Graduate of Architecture

2005 *Architect Victoria*
Member of the editorial committee

1989-1990 *University of Melbourne*
Tutor in architectural history

1990 *Department of Architecture and Building, University of Melbourne*
Research assistant to Dr Kim Dovey

Recent Major Projects

- > *Roden Cutler Retirement Village, Gordon* - Adaptive reuse and aged care redevelopment of the 2.8 hectare site.
- > *Randwick Town Hall* - Conservation and upgrade of the building for Randwick Council.
- > *Macquarie Bank, 48 Martin Place, Sydney* - Adaptive re-use of the former Commonwealth Bank Building as head offices for Macquarie Bank.
- > *Camden Park, Menangle* - Strategic Heritage Management Plan for Camden Park.
- > *Boggo Road Gaol Redevelopment, Queensland*: Adaptive re-use of early twentieth century prison for commercial retail uses.
- > *Commonwealth Bank, 5 Martin Place (120 Pitt Street)* - Adaptive re-use and reconstruction of the former Commonwealth Bank Building as commercial office space.
- > *Graythwaite, Shore School, North Sydney* - Conservation and adaptive reuse of the historic house and outbuildings for new school uses.
- > *Sydney Town Hall* - Major interior upgrade and refurbishment of the building for including upgrade of essential services, BCA and Place of Public Entertainment compliance works and conservation of historic interiors.
- > *Sydney Town Hall* - Installation of photovoltaic cells to the main roof as part of the City of Sydney's 2030 programme.
- > *University of Western Sydney, Building R2*
- > *Commonwealth Bank, 48 Martin Place, Sydney* - Conservation and adaptation.
- > *Admiralty House, Kirribilli* - Historic interiors. Refurbishment of the staff quarters. Exterior repairs and repainting.
- > *Goonoo Goonoo Woolshed, Tamworth* - Documentation of conservation and repair works.
- > *University of Western Sydney Former Female Orphan School, Rydalmere* - Facade conservation.
- > *Westpac Bank, 341 George Street* - Conservation and refurbishment.
- > *Callan Park, Rozelle* - 10 year repair and maintenance works schedules.
- > *Bondi Post Office, Bondi* - Conservation Management Plan.



Mr Fil Cerone
Director, Sustainability Environment & Planning
City & Southwest Metro
Transport for NSW
PO Box K659
HAYMARKET NSW 1240

Our ref: 18/575089

Dear Mr Cerone,

Sydney Metro City and Southwest (CSSI 15_7400) Low impact works to a heritage building (50 Martin Place) and 9-19 Elizabeth Street, and consulting heritage architect (Condition E22.1)

Thank you for your correspondence of 1 August 2018 seeking the Secretary's determination that certain low impact works at 50 Martin Place are not 'construction' activities under the definition in the infrastructure approval, and seeking the Secretary's endorsement of Mr George Phillips as the consulting heritage architect under condition E22.1.

The proposed works comprise pre-construction and preparatory works at 50 Martin Place and 9-19 Elizabeth Street as outlined in your correspondence and attachment titled *Infilling of Inter-Connecting Openings Between 50 Martin Place and 9-19 Elizabeth Street: Assessment of Impact of the Works* (dated 28 June 2018) ('Assessment of Impact of the Works'). 50 Martin Place is listed as State significant on the State Heritage Register (SHR: No. 011427) and as a heritage item on the City of Sydney Local Environment Plan (LEP I1895).

I understand the likely impact of these works on heritage items would be positive as they would remove intrusive elements and enhance the original form and finishes. I note the Office of Environment and Heritage's correspondence of 5 July 2018 confirmed that the proposed works outlined in the 'Assessment of Impact of the Works' would have a positive heritage outcome. I also note the endorsement of the Environmental Representative that these works are low impact.

I note from the information provided, that Mr Phillips, Practice Director at TKD Architects, has the appropriate skills, qualifications and experience to be the consulting architect.

On this basis, I determine the above low impact works described in your letter of 1 August 2018 and the 'Assessment of Impact of the Works' as non-construction and approve of Mr George Phillips as the consulting heritage architect in accordance with condition E22.1.

If you have any queries, please contact Jacqui McLeod, Team Leader, Infrastructure Management via email at jacqui.mcleod@planning.nsw.gov.au.

Yours sincerely

 4-9-18

Stacy Warren
Director - Infrastructure Management
As delegate of the Secretary