

Consistency Assessment Approval Form – Relocation of amenities for Waterloo Congregational Church

Existing Approved Project
Planning approval reference details (Application/Document No. (including modifications)): SSI-15_7400 Sydney Metro City & Southwest – Chatswood to Sydenham
Date of determination: 9 January 2017
Type of planning approval: Part 5.1 – Critical State Significant infrastructure
<p>Description of existing approved project:</p> <p>The Chatswood to Sydenham component of Sydney Metro City & Southwest comprises a new metro rail line, approximately 16 kilometres long, between Chatswood and Sydenham. New metro stations would be provided at Crows Nest, Victoria Cross, Barangaroo, Martin Place, Pitt Street and Waterloo, as well as new underground metro platforms provided at Central Station.</p> <p>The Preferred Infrastructure Report (PIR) provided clarification regarding the works and construction footprint at Waterloo Station. This involved the need for a larger excavation at this site to accommodate the structure required to tank the station (i.e. to inhibit the inflow of groundwater to the station). This larger excavation requires additional land than that identified in the EIS and also requires the demolition of the toilet block at the heritage listed Waterloo Congregational Church. The PIR committed to providing temporary toilets for the duration of the construction period, as well as the reinstatement of permanent toilets following completion of construction. The permanent toilets would be built to at least the equivalent standard as the current toilets and in consultation with the owner of the property.</p> <p>The PIR assessed the heritage impact of the removal of the existing toilet block but noted that since the details of the location and design of the permanent replacement toilets were not available and would be discussed with the property owner a full heritage assessment could not be undertaken at that time. The PIR committed to preparing a heritage impact statement prior to the reinstatement of the permanent toilets. The PIR also included a mitigation measure (NAH19) to ensure that any temporary or permanent reinstatement of fabric would be sympathetic to the heritage values and architectural form of the building and that impacts to heritage fabric would be minimised.</p>

Relevant background information (including EA, REF, Submissions Report, Director General's Report, MCoA):

- Chatswood to Sydenham Environmental Impact Statement and accompanying technical papers (May, 2016)
- Chatswood to Sydenham Submissions and Preferred Infrastructure Report (October, 2016)
- Conditions of Approval (dated 9 January 2017).

Description of proposed development/activity/works

Since the PIR was prepared, more design information is now available for the proposed location of the reinstated toilets and an accompanying heritage impact statement has been prepared (refer to Attachments A and B). It is now proposed to provide the permanent reinstated toilets prior to the demolition of the existing toilet facilities to provide both a temporary and permanent solution.

A new permanent single accessible toilet facility would be constructed at the ground level of the annex building and would provide wheelchair and ambulant access. The proposed toilet would be located where the kitchenette currently exists (i.e. the south-east corner of the annex) and a smaller kitchenette would be reinstated in a new location (along the wall of the annex that abuts the church building). These locations have been agreed with the property owner. The proposed works may also require an upgrade to the access to the new accessible toilet to ensure compliance with DDA and BCA requirements.

The proposed working hours, duration, staffing levels and wastes generated would be in accordance with the approved project. The works would be carried out during standard working hours.

Timeframe

The proposed works are anticipated to commence in late 2017 and take up to 3 months to complete.

Site description

Provide a description of the site on which the proposed works are to be carried out, including, Lot and Deposited Plan details, where available:

Works would be carried out within the annex of the Waterloo Congregational Church at 103-105 Botany Road, Waterloo (Lot 30 DP 668991).

Site Environmental Characteristics

The proposed works would be carried out within the annex of the Waterloo Congregational Church which is listed as a local heritage item on the Sydney Local Environmental Plan 2012 (reference 12069). The church is located on Botany Road and surrounded by commercial and residential properties. All other properties on the block between Botany Road, Wellington Street, Cope Street and Raglan Street would be demolished as part of the Waterloo Station works.

Justification for the proposed works

The proposed works are required as a result of the larger excavation needed at the Waterloo Station site to accommodate the structure required to tank the station (i.e. to inhibit the inflow of groundwater to the station). This is detailed in the PIR. The larger excavation would affect the existing toilet facilities for the congregational church and replacement facilities are required to minimise the impact to this property and use of the site.

Environmental Benefit

N/A

Control Measures

Will a project and site specific EMP be prepared? Yes.

Are appropriate control measures already identified in an existing EMP? No.

Climate Change Impacts

Is the site likely to be adversely affected by the impacts of climate change? If yes, what adaptation/mitigation measures will be incorporated into the design? N/A

Impact Assessment – Construction

Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed/activity, relative to the Approved Project	Proposed Control Measures	Minimal Impact Y/N	Endorsed [for Planning and Environment use only]	
				Y/N	Comments
Flora and fauna	N/A	N/A	Y	Y	
Water	N/A	N/A	Y	Y	
Air quality	N/A	N/A	Y	Y	
Noise and vibration	<p>The proposed works would be undertaken during standard working hours and would be minor and short-term in nature.</p> <p>The timing of the works would be identified in consultation with the property owner to ensure there would be no noise impacts during church services or other sensitive periods at the site.</p> <p>The proposed works would be undertaken in a manner to avoid vibration impacts to significant fabric of the heritage item.</p>	<p>The potential noise and vibration impacts associated with the proposed works would be managed in accordance with existing mitigation measures and conditions of approval.</p> <p>No additional mitigation measures are required.</p>	Y	Y	
Indigenous heritage	N/A	N/A	Y	Y	

Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed/activity, relative to the Approved Project	Proposed Control Measures	Minimal Impact Y/N	Endorsed [for Planning and Environment use only]	
				Y/N	Comments
Non-indigenous heritage	<p>A heritage assessment of the proposed works is provided in Attachment B. It concludes that the demolition of the existing toilets would remove fabric of little heritage significance. The installation of the new toilet and relocated kitchenette has the potential to have little effect on the original annex structure and are situated in an appropriate location from a heritage perspective. The provision of upgraded amenities will have a positive heritage impact.</p> <p>The proposed works are consistent with the recommended management of the heritage item in accordance with the City of Sydney inventory sheet.</p> <p>The potential for archaeological finds during the sewer connection works are considered minimal.</p>	<p>Works required to upgrade the access to the new accessible toilets must be carefully designed to avoid damage to significant heritage fabric. An experienced access consultant and conservation architect shall provide advice to the design team to ensure any adverse impact on significant fabric and qualities of the church is avoided or minimised.</p> <p>The proposed works shall be adequately documented by a suitably experienced conservation architect.</p> <p>Any potential archaeological issues associated with the sewer connection works would be managed in accordance with the Archaeological Research Design.</p>	Y	Y	
Community	<p>The proposed works would be undertaken at times where there are no church services scheduled to avoid impacts to the community.</p>	<p>The proposed works shall be undertaken during times when no church services are scheduled.</p>	Y	Y	

Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed/activity, relative to the Approved Project	Proposed Control Measures	Minimal Impact Y/N	Endorsed [for Planning and Environment use only]	
				Y/N	Comments
Traffic	The number of vehicle movements to support the proposed works would be minor and would not result in a change to the assessed intersection performance. No heavy vehicles movements would be required.	The works shall be carried out in accordance with the approved Construction Traffic Management Framework and associated management plans.	Y	Y	
Waste	N/A	N/A	Y	Y	
Social	N/A	N/A	Y	Y	
Economic	N/A	N/A	Y	Y	
Visual	N/A	N/A	Y	Y	
Urban design	N/A	N/A	Y	Y	
Geotechnical	N/A	N/A	Y	Y	
Land use	N/A	N/A	Y	Y	
Climate Change	N/A	N/A	Y	Y	
Risk	N/A	N/A	Y	Y	
Other	N/A	N/A	Y	Y	

Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed/activity, relative to the Approved Project	Proposed Control Measures	Minimal Impact Y/N	Endorsed [for Planning and Environment use only]	
				Y/N	Comments
Management and mitigation measures	N/A	N/A	Y	Y	

Impact Assessment – Operation

Aspect	Nature and extent of impacts (negative and positive) during operation (if control measures implemented) of the proposed activity/works, relative to the Approved Project	Proposed Control Measures	Minimal Impact Y/N	Endorsed [for Planning and Environment use only]	
				Y/N	Comments
Flora and fauna	N/A	N/A	Y	Y	
Water	N/A	N/A	Y	Y	
Air quality	N/A	N/A	Y	Y	
Noise vibration	N/A	N/A	Y	Y	
Indigenous heritage	N/A	N/A	Y	Y	
Non-indigenous heritage	N/A	N/A	Y	Y	
Community	The proposed works would provide a benefit to the community by providing ongoing and upgraded amenities for the church	N/A	Y	Y	
Traffic	N/A	N/A	Y	Y	
Waste	N/A	N/A	Y	Y	
Social	N/A	N/A	Y	Y	

Aspect	Nature and extent of impacts (negative and positive) during operation (if control measures implemented) of the proposed activity/works, relative to the Approved Project	Proposed Control Measures	Minimal Impact Y/N	Endorsed [for Planning and Environment use only]	
				Y/N	Comments
Economic	N/A	N/A	Y	Y	
Visual	N/A	N/A	Y	Y	
Urban design	N/A	N/A	Y	Y	
Geotechnical	N/A	N/A	Y	Y	
Land use	N/A	N/A	Y	Y	
Climate Change	N/A	N/A	Y	Y	
Risk	N/A	N/A	Y	Y	
Other	N/A	N/A	Y	Y	
Management and mitigation measures	N/A	N/A	Y	Y	

Consistency with the Approved Project

<p>Based on a review and understanding of the existing Approved Project and the proposed modifications, is there is a transformation of the Project?</p>	<p>No. The proposed works would not transform the project. The project would continue to provide a new metro rail line between Chatswood and Sydenham.</p>
<p>Is the project as modified consistent with the objectives and functions of the Approved Project as a whole?</p>	<p>Yes. The proposed works would be consistent with the objectives and functions of the approved project. The need to relocate the toilet facilities was identified in the planning approval.</p>
<p>Is the project as modified consistent with the objectives and functions of elements of the Approved Project?</p>	<p>Yes. The proposed works would be consistent with the objectives and functions of the approved works at Waterloo Station.</p>
<p>Are there any new environmental impacts as a result of the proposed works/modifications?</p>	<p>The approved project identified that there would be a heritage impact on the heritage listed Waterloo congregation church and that the design and construction of the relocated toilet facilities should minimise impacts to heritage fabric of this item. The heritage impact statement for the proposed works concludes that the works would not have little adverse effect on significant fabric of the heritage item. The works would overall have a positive heritage impact.</p>
<p>Is the project as modified consistent with the conditions of approval?</p>	<p>Yes. The proposed works would be consistent with the conditions of approval.</p>
<p>Are the impacts of the proposed activity/works known and understood?</p>	<p>Yes. The impacts of the proposed works are understood.</p>
<p>Are the impacts of the proposed activity/works able to be managed so as not to have an adverse impact?</p>	<p>Yes. The impacts of the proposed works can be managed so as to avoid an adverse impact.</p>


I certify that to the best of my knowledge this Consistency Checklist:

- examines and takes into account to the fullest extent possible all matters affecting or likely to affect the environment as a result of activities associated with the project; and
- examines the consistency of the proposed activity/modification with the Approved Project;
- is accurate in all material respects and does not omit any material information.

Name	Yvette Buchli	Signature 	Date 7/8/17
Title	Manager, Planning Approvals		

To be signed by person preparing checklist

THIS SECTION FOR PLANNING & ENVIRONMENT USE ONLY

Application supported and submitted by:			
Name	Carolyn Riley	Signature 	Date 7/8/17
Title	Senior Manager, Planning		

Project Approvals

Planning Approvals

Based on the above assessment, are the impacts and scope of the proposed activity/modification consistent with the existing Approved Project?

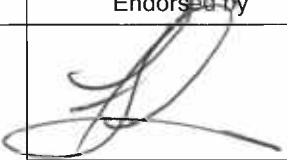
- Yes The proposed activity/works can be endorsed by the Principal Manager Sustainability, Environment & Planning.
- No The proposed works/activity is not consistent with the Approved Project. A modification or a new activity approval/development consent is required. Advise Project Manager of appropriate alternative planning approvals pathway to be undertaken.

Environmental Approvals

Identify all other approvals required for the project:

Tick appropriate box

No further assessment required.	<input checked="" type="checkbox"/>	Further Assessment is required
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Comments	Endorsed by	Date	* Conditions of endorsement
—	 Principal Manager, Sustainability, Environment & Planning	9/8/17	NIL

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ATTACHMENT A: Current and proposed layout of church and location of amenities

- 1. Church
- 2. Annex (2 storey)
- 3. Office
- 4. Kitchen
- 5. Male Toilet
- 6. Female Toilet
- 7. Rear outdoor space

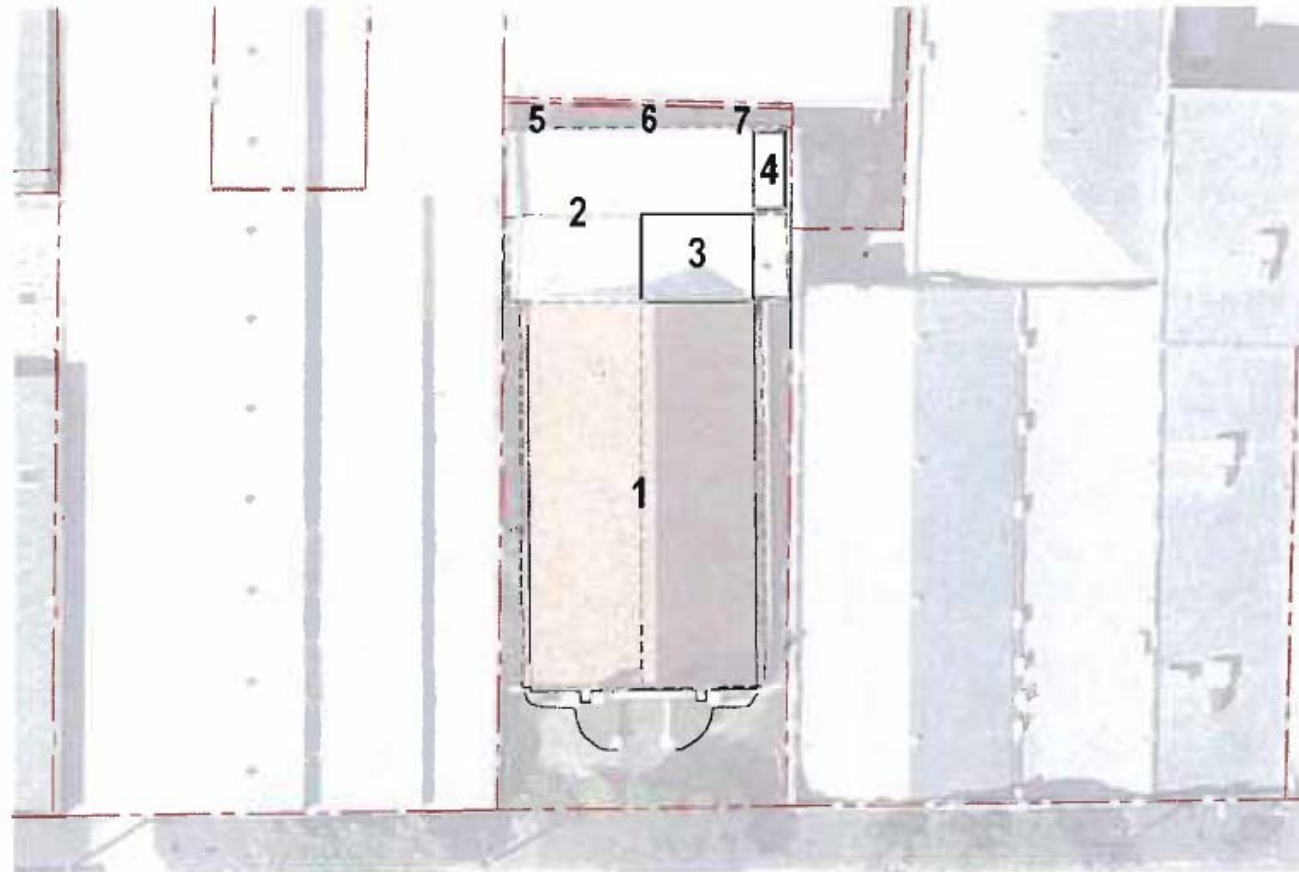
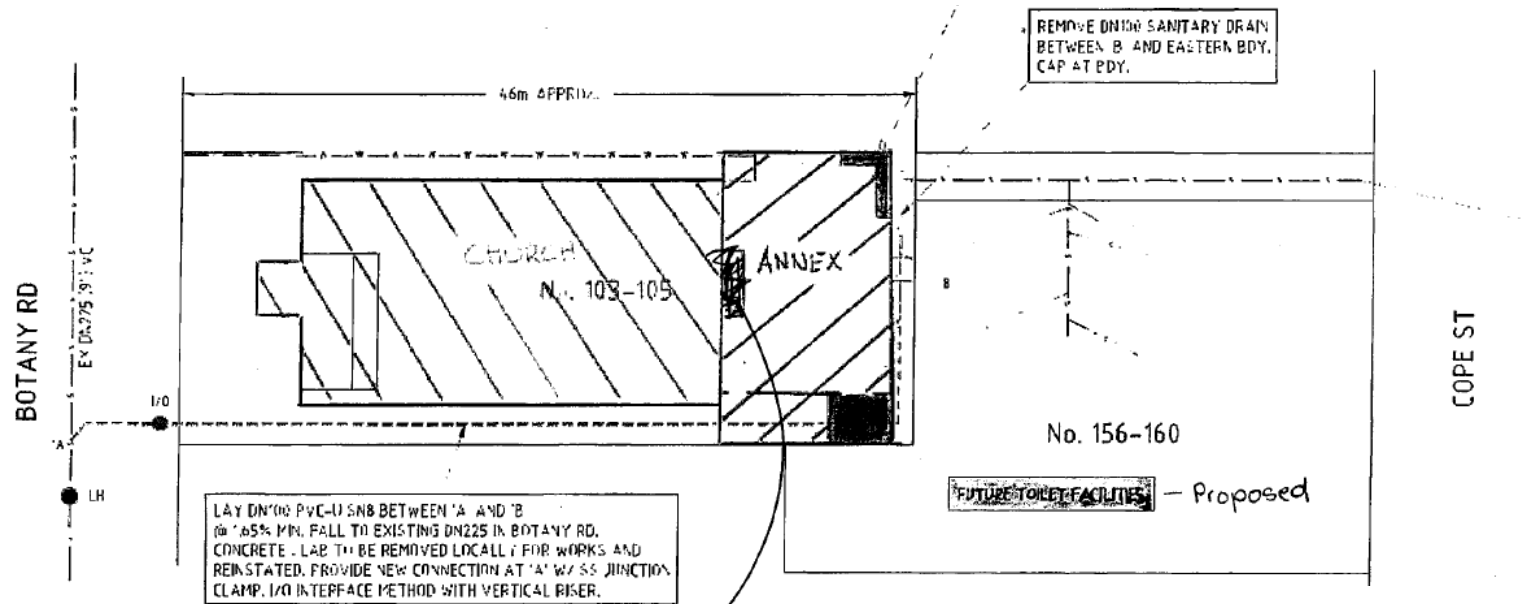


Plate 1: Current layout: Items 5, 6 and 7 would be affected by the construction works at Waterloo Station. Item 4 (kitchen) would be affected by proposed location of the reinstated toilets (refer to Plate 2). Kitchen would be relocated to the other side of the office (Item 3).



New proposed location of the kitchenette

Plate 2: Future layout: Location of proposed reinstated toilets and relocated kitchenette

ATTACHMENT B: Heritage impact statement

Congregational Church, 103 Botany Road, Waterloo
Statement of Heritage Impact

Prepared by Long Blackledge Architects

for

Sydney Metro- City & Southwest- Technical Services

Issue C Final Draft dated 7 August 2017


Nominated Architect:
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Document controls

Business Name	Long Blackledge Architects				
Client	Sydney Metro- City & Southwest- Technical Services				
Project/Document Title	Congregational Church, 103 Botany Road, Waterloo Statement of Heritage Impact				
Project No.		Issue	C	Date	07/08/17
Prepared by					
William Blackledge				07/08/17	
..... (Name)	 (Signature)	 (Date)	
.....					

Change history

Issue	To	Change description	Date
A	SM-C&S	Initial draft issue	25/07/17
B	SM-C&S	Final draft issue	26/07/17
C	SM-C&S	Final issue	07/08/17

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1. Background

1.1 Preamble

In order to construct the station box of the proposed Waterloo Metro Station it is necessary to demolish lavatories at the periphery of the church.

It proposed that these facilities are replaced by a single accessible w.c. placed within the existing kitchen, which is presently situated in the eastern annex of the church. The kitchen will be reconstructed at the northern part of the annex.

This report provides an assessment of the heritage impact of the proposal at sketch design.

1.2 Location

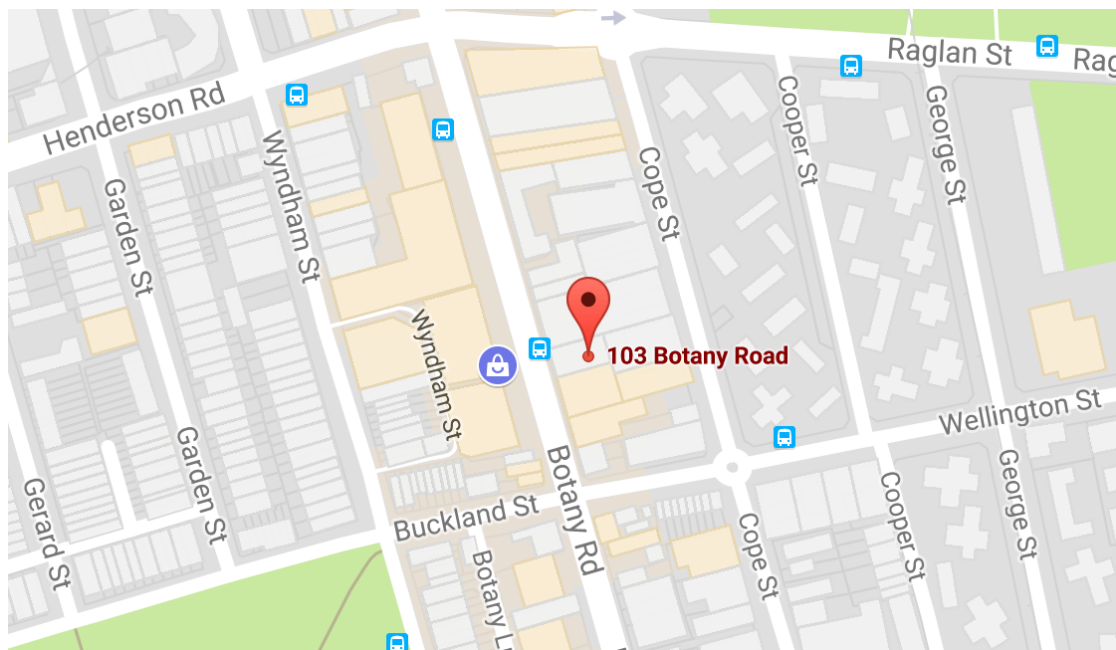


Figure 1. Location Source: Google Maps 2017

The address of the item is 103-105 Botany Road, Waterloo. It is Lot 30 of DP 668991

1.3 Referenced documents

- Memo dated 4 March 2017 prepared by Bridget Tregonning (Annexure 1)
- Listed inventory sheet for the Congregational Church, Waterloo. OE&H heritage database. (Annexure 2)

1.4 Listed Status

The church is listed as a local item of environmental heritage in City of Sydney's Schedule 5 of SLEP 2012 reference 12069

1.5 Limitations

The proposal to demolish the w.c.s' and replace them with an accessible w.c. is indicative, further detail will be provided at a later date by the main contractor when the more detailed implications of the work are better known. This report is therefore an assessment that looks at the "in principle" proposal and its broad effect on the heritage significance of the place.

This assessment does not address the potential archaeological impacts of drainage works and the like. Archaeology will be managed in accordance with the AARD.

2. Description of the church



Figure 2 1980 view of the church

The church was built in 1883 replacing an earlier church from 1865. It was designed in the gothic style in rendered brick.

The church is built in 2 blocks, the main church which faces Botany Road and a two storey annex which appears to be contemporary with the main body of the church is at the rear of the site.

The church and its annex sit within the property allotment within about 1.5m of its boundary to the north, east and south.

The church and annex are quite simply detailed in a restrained neo-gothic style.

The front façade's main west window of the church is a tripartite lancet window above a shallow gabled porch, this group is framed by buttresses surmounted by pinnacles. The sides of the church have braced arched windows beneath a hood mould between buttresses which align with the roof frames.

The rear annex doorway is detailed in a similar manner to the main church building.

The annex is 2 storey, the ground floor links to the church and to southern passageway. A kitchen is situated in the southern part of this space. Male and Female W.C.'s have been built within the space between the annex and its eastern boundary. These structures appear to be later than the church building and are quite decrepit.

The upper floor of the annex has a timber lined "cathedral" ceiling accessed by a staircase in the SW corner.

3. Significance of the building

The church building is simply designed in the gothic style contributing significantly to the quality of the streetscape of Botany Road. The building also has historical significance as one of the earliest churches in Waterloo.

The later structures that infill the eastern space between the annex building and the eastern boundary have little heritage significance.

4. Description of the Proposal

It is proposed to demolish the existing male and female w.c.'s situated adjacent to the eastern boundary of the property. A new accessible w.c. is proposed to be situated on the site of the present kitchen, the kitchen is displaced to the north side of the annex. This work is Option 1 in annexure 1.

There is little information at this stage on the detailed effect on significant fabric or the effect of "path of travel" works to the new facility which is likely to be triggered by these upgrade works.

5. Assessment of Heritage Impact

The demolition works will remove fabric of little significance.

The installation of the accessible w.c. in the present kitchen space has the potential to have little effect on the original annex structure. The new kitchen location affects the service area of the church and is an appropriate location for the new facility.

The upgrade of the “path of travel” to the new accessible w.c. might be required in order to comply with the BCA and Access to Premises Act. There appears to be a number of ways to upgrade access to the church and its annex which has the potential to be a satisfactory access and conservation solution.

6. Conclusion and Recommendations

The works are consistent with the recommended management of the item in the City of Sydney inventory sheet.

The proposed demolition works affect fabric of low significance and will have little or no adverse effect on the heritage significance of the Congregational Church at Waterloo.

The upgrading of the kitchen and w.c.’s will improve the utility of the building while of having the potential to have little adverse effect on significant fabric. These works will have a positive heritage impact.

The works that might be required to upgrade the access to the new accessible w.c. must be carefully designed to avoid damage to significant fabric. Any improvement to the accessibility to the church and its annex has the potential to be a positive conservation outcome.

It is recommended that:

1. The proposed works are adequately documented by a suitably experienced conservation architect.
2. If the works trigger a “path of travel” upgrade an access consultant experienced in access to historic buildings should provide advice to the design team (including the conservation architect) to ensure any adverse impact on significant fabric or significant qualities of the church is avoided or minimised.

ANNEXURE 1 Memo dated 4 March 2017

Our ref:
Rev: Draft

TO: Kurt Wagner

FROM: Bridget Tregonning

CC:

DATE: 4 March 2017

SUBJECT: Demolition of the existing Church Toilets

Dear Kurt,

The purpose of this brief memo is to provide technical advice on the proposed options for the location of temporary and permanent toilet facilities for the Church, which are to be demolished for construction of the station box.

This memo does not include cost, program, review of services connections, or an assessment of the potential heritage impacts associated with the installation of a new facility proposed within the annex building.

1. Waterloo Congregational Church

1.1 Heritage Description

The Waterloo Congregational Church at 103 Botany Road is listed as a local heritage item on the Sydney Local Environmental Plan 2012.



Figure 1.1 The heritage Congregational Church on Botany Road– images taken from TerraExplorerWaterloo



Figure 1.2 The heritage listed Waterloo Congregational Church on Botany Road

1.2 Site Observations

The following photos were taken of the Waterloo Congregational Church on 5 May 2016. They include the interiors of the front church and the two storey annex at the back.



Photo of chapel interiors looking east



Photo of chapel interiors looking west

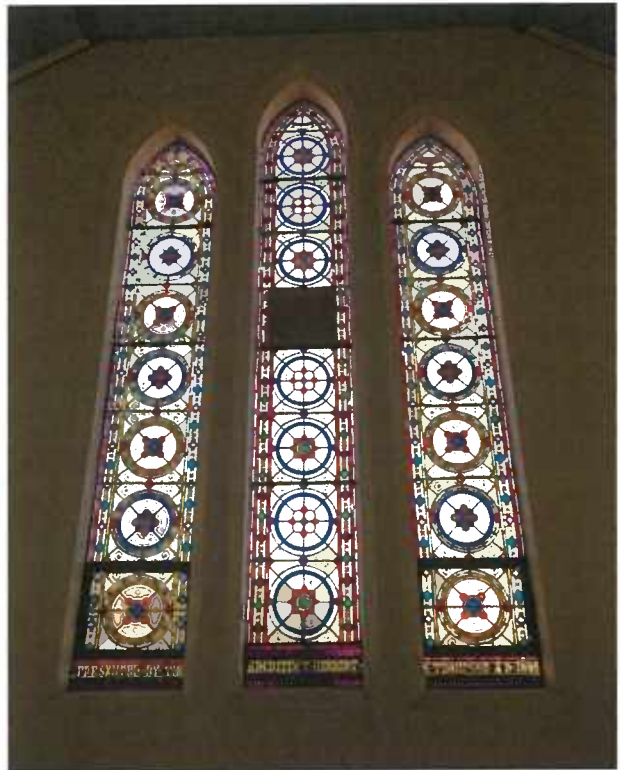


Photo of chapel stained glass window facing Botany Road



Photo of annex ground floor interiors



Photo of annex ground floor interiors and left door to toilet



Photo of annex top floor interiors looking south



Photo of annex top floor interiors looking north



Photo of annex exterior and south corridor

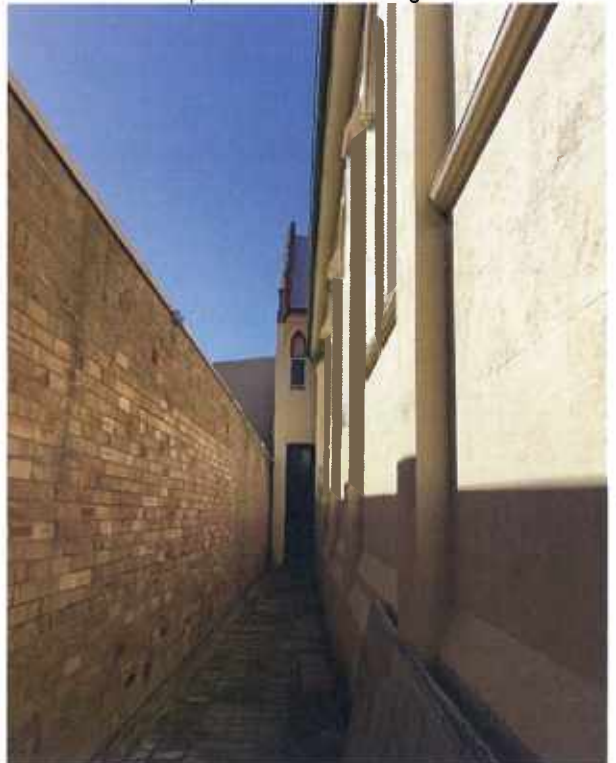


Photo of annex exterior and north corridor



Photo of annex male toilet roof and back brick wall below

The following photos were taken of the Waterloo Congregational Church on 22 September 2016. They include photos of the annex ground floor level, two toilets and rear outdoor space.

1. Church
2. Annex (2 storey)
3. Office
4. Kitchen
5. Male Toilet
6. Female Toilet
7. Rear outdoor space

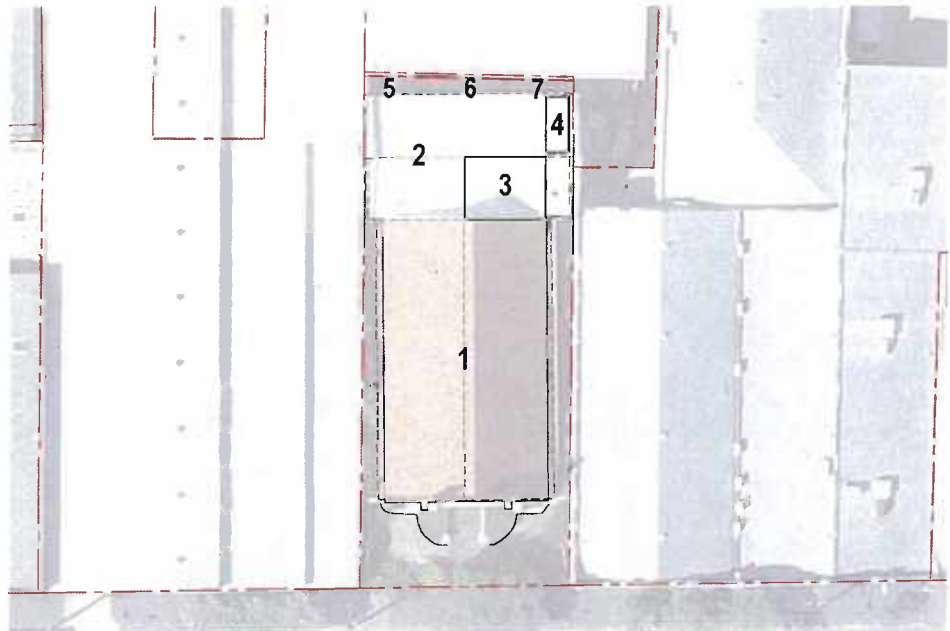




Photo of door to male toilet in the annex north wall



Photo of the space between the north annex wall (left) and north property wall (right)



Photo of rear back wall to male toilet



Photo of male toilet concrete floor



Photo of door to female toilet in the annex east wall



Photo of female toilet tiled floor and south timber panel wall



Photo of female toilet roof and door to WC (looking north)



Photo of female toilet south facing timber panel wall



Photo of the outdoor space between the east annex wall (right) and the rear brick wall (left)



Photo of the rear outdoor space brick paved floor

2. Options for the Location of the Church Toilets

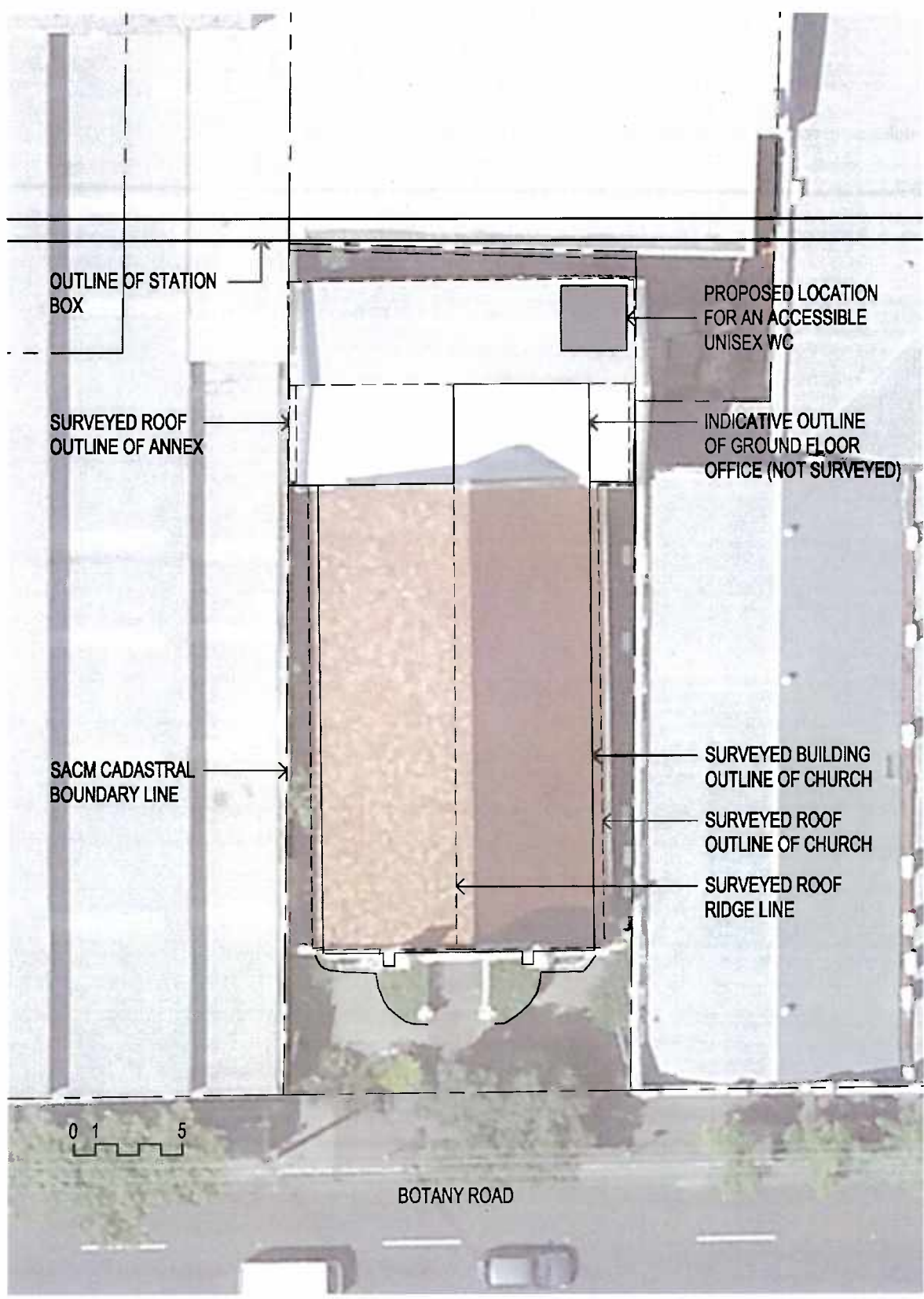
Two options are possible for the temporary and permanent location of the Church toilets:

Option 1

- A new permanent single accessible facility is constructed at ground level in the annex building, prior to demolition of the two existing Church toilets. It is proposed that the new toilet would be located where the kitchenette currently exists, and would be a single accessible facility for wheelchair and ambulant access. A smaller kitchenette is to be reinstated in a location to be coordinated and agreed with the Church users.

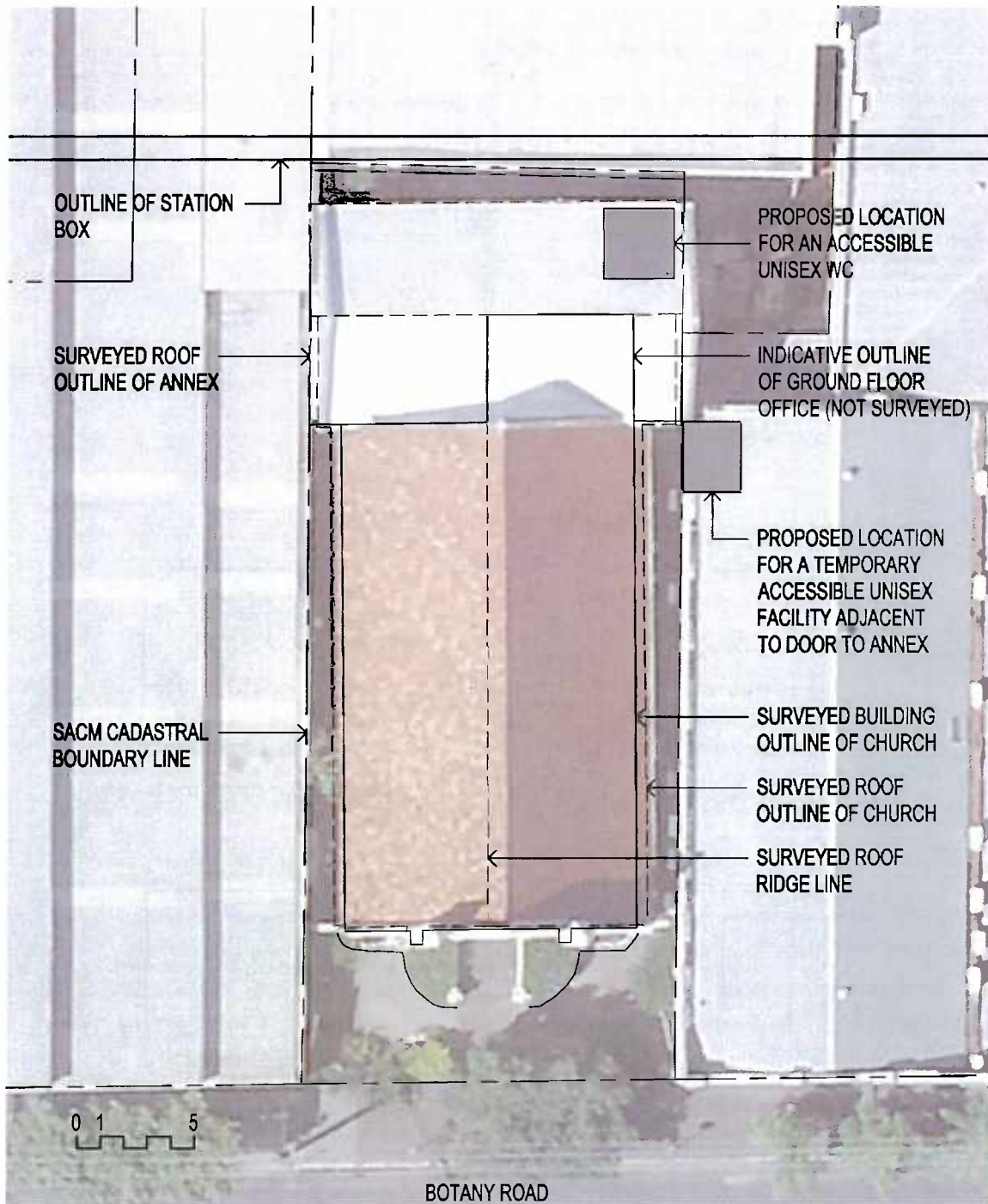


Photo of annex and kitchen (looking south). The existing kitchenette in the background



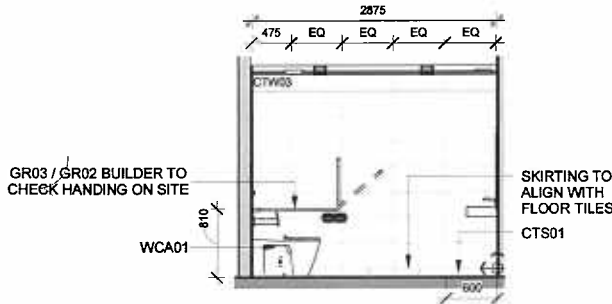
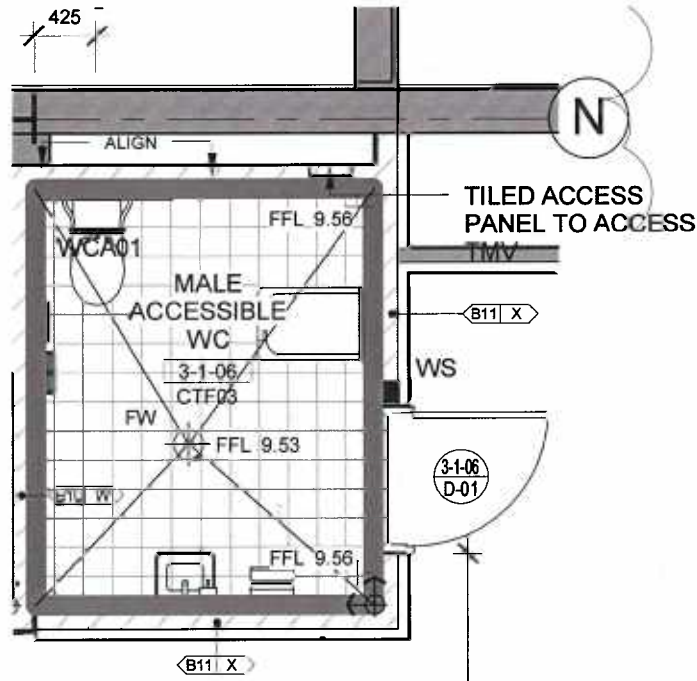
Option 2

- Temporary facilities provided along the southern property boundary near to the door to annex building door. The temporary facility may need to be raised to accommodate plumbing. Therefore it may be necessary to provide ramp access. We also recommend weather protection is provided from the annex door to the temporary facility. A new permanent single unisex facility is constructed at ground level in the annex building adjacent to the existing office wall.

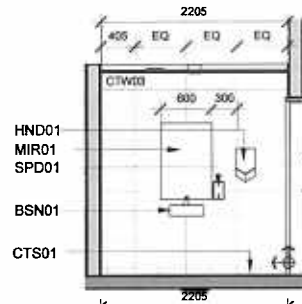


3. Example of an accessible unisex facility

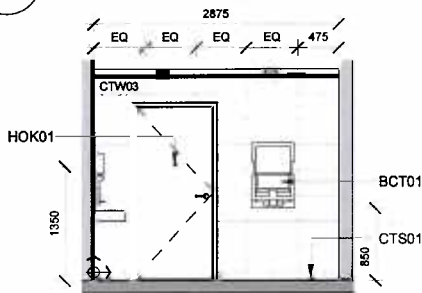
These plans and elevations have been provided by the Wynyard Station Upgrade project.



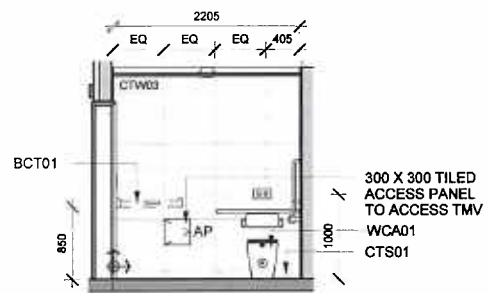
8 TYPICAL ACCESSIBLE WC 03
SCALE 1:50



9 TYPICAL ACCESSIBLE WC 04
SCALE 1:50



6 TYPICAL ACCESSIBLE WC 01
SCALE 1:50



7 TYPICAL ACCESSIBLE WC 02
SCALE 1:50

ANNEXURE 2 Inventory Sheet for Congregational Church, Waterloo

Congregational Church Including Interior

Item details

Name of item:	Congregational Church Including Interior
Type of item:	Built
Group/Collection :	Religion
Category:	Church
Primary address:	103-105 Botany Road, Waterloo, NSW 2017
Local govt. area:	Sydney

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
103-105 Botany Road	Waterloo	Sydney			Primary Address

Statement of significance:

The Gothic church of rendered brick construction was constructed in 1883 to replace the congregation chapel built in 1865. The symmetrical design of the façade demonstrate high quality architectural traits of the building. It is one of the earliest worship venues in Waterloo.

Date significance updated: 31 Oct 12

Note: There are incomplete details for a number of items listed in NSW. The Heritage Division intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Designer/Maker:	Herbert S Thompson
Builder/Maker:	F. Tucker
Construction years:	1883-

Physical description: Two storey Victorian Gothic style church with cedar pulpit, gallery and staircase. The building is symmetrical in plan and elevation. The main hall is 6 bay deep as demonstrated by engaged piers and lacent windows on the side wall. The gable facing the street, features rendered finishes, large central lacent window and two projecting bellcotes. The building sets back from Botany Road and presents a garden, fence entrance steps to the front.

Modifications and dates: The front stone dwarf wall has been removed and replaced with palisade fence. The stone piers of the gate still stand in the front garden.

Further information: Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include the social history of sites and buildings. Inventory sheets are constantly updated by the City as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conservation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

History

Historical notes: The "Eora people" was the name given to the coastal Aborigines around Sydney. Central Sydney is therefore often referred to as "Eora Country". Within the City of Sydney local government area, the traditional owners are the Cadigal and Wangal bands of the Eora. There is no written record of the name of the language spoken and currently there are debates as to whether the coastal peoples spoke a separate language "Eora" or whether this was actually a dialect of the Dharug language. Remnant bushland in places like Blackwattle Bay retain elements of traditional plant, bird and animal life, including fish and rock oysters.

With the invasion of the Sydney region, the Cadigal and Wangal people were decimated but there are descendants still living in Sydney today. All cities include many immigrants in their population. Aboriginal people from across the state have been attracted to suburbs such as Pyrmont, Balmain, Rozelle, Glebe and Redfern since the 1930s. Changes in government legislation in the 1960s provided freedom of movement enabling more Aboriginal people to choose to live in Sydney.

(Information sourced from Anita Heiss, "Aboriginal People and Place", Barani: Indigenous History of Sydney City <http://www.cityofsydney.nsw.gov.au/barani>)

The foundation stone inscribed year 1865. However, according to Sydney Morning Herald 26 November 1883, the foundation-stone of a new Congregational Church, Botany road, Waterloo, was laid on Saturday. The new building would contain sittings for 470. The estimated cost, including the site, is £2800, towards which nearly £1200 are already promised". It is clear from the report that the 1865 foundation stone was for the former Congregation Chapel, which was opened on 28 Jan 1865 and cost 300pounds. The chapel was enlarged in the following year to accommodate more people (at cost of 400 pounds). The architect was Herbert S. Thompson and the builder was F. Tucker of Petersham. The church " is to be built of bricks cemented with slated roof. Enriched inside with covet boarded and decorated ceiling broken up into panes by means of principals and mouldings". "two verstes are included in the design and every attention si to be paid to ventilation. The frontage to Botany Rd is to be enclosed with dwarf stone wall and piers with iron railing, gates and lamp standards."

Assessment of significance

SHR Criteria a) It is a long established congregation church in Waterloo, since 1865.
[Historical significance]


SHR Criteria c) It is delicate and well designed Gothic style architecture.
[Aesthetic significance]

SHR Criteria d) It relates to the local parish and worship activity in South Sydney area.
[Social significance]

SHR Criteria g)
[Representativeness]

It is good example of moderate scale local church designed by local architects.

Assessment criteria:

Items are assessed against the  **State Heritage Register (SHR) Criteria** to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Recommended management:

The building should be retained and conserved. A Heritage Assessment and Heritage Impact Statement, or a Conservation Management Plan, should be prepared for the building prior to any major works being undertaken. There shall be no vertical additions to the building and no alterations to the façade of the building other than to reinstate original features. The principal room layout and planning configuration as well as significant internal original features including ceilings, cornices, joinery, flooring and fireplaces should be retained and conserved. Any additions and alterations should be confined to the rear in areas of less significance, should not be visibly prominent and shall be in accordance with the relevant planning controls.

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan	Sydney LEP 2012	I2069	14 Dec 12		
Heritage study					

References, internet links & images

Type	Author	Year	Title	Internet Links
Writte n	Anita Heiss		Aboriginal People and Place, Barani: Indigenous History of Sydney City	
Writte n	Eland, Judith	1975	South Sydney: Shaping the Future	

Note: internet links may be to web pages, documents or images.

Data source

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