












City & Southwest

Business Management Plan – Early Works

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AUTHOR	Rebecca Raap	REVISION	4.0
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1 Introduction

1.1 Document purpose

This Business Management Plan – Early Works (BMP-EW) specifically describes the approach Transport for NSW will take to manage engagement and ongoing consultation with businesses within 50 metres of the Project.

For the purpose of this plan, ‘early works’ includes:

- demolition
- construction of the Sydney Yard Access Bridge (Central Station),
- overhead wiring and drainage works in the Chatswood to Artarmon rail corridor,
- initial site establishment activities for the Tunnel and Station Excavation (TSE) Works
- phase two work at Martin Place North for the Martin Place Integrated Station Development (MPISD).

The BMP-EW will:

- Identify business stakeholders that may be affected by early works and the issues specific to each;
- Detail the strategies and activities to be used to facilitate open communication and engagement with businesses;
- Explain mitigation measures for identified business related impacts; and
- Define roles and tools to enable Place Managers to deliver the BMP-EW.

1.2 Objectives

The objectives of the BMP-EW are to:

- Fulfil the requirements of the Minister’s Conditions of Approval (MCoA), as they relate to the early works portion of works, to facilitate engagement and ongoing consultation with business owners potentially affected by the Project’s early works (see 1.3)
- Identify issues for consideration in the planning of early works to reduce the potential impacts on businesses.

1.3 Relationship to other plans

The Overarching Community Communication Strategy (OCCS) guides Sydney Metro’s approach to stakeholder and community liaison during construction and to address the requirements of each projects planning approval. The OCCS will be implemented throughout the construction of each of Sydney Metro’s projects and 12 months following the completion of construction.

The Sydney Metro Delivery Office is responsible for coordinating the construction of Sydney Metro. The project teams are responsible for implementing this strategy across their contractor teams to

ensure a coordinated approach to stakeholder and community liaison across the entire program of work.

Small Business Owners Support Program (SBOSP) describes the approach Transport for NSW will take to provide assistance to small business owners located within 50 metres of, and adversely impacted by, the construction of Sydney Metro City & Southwest.

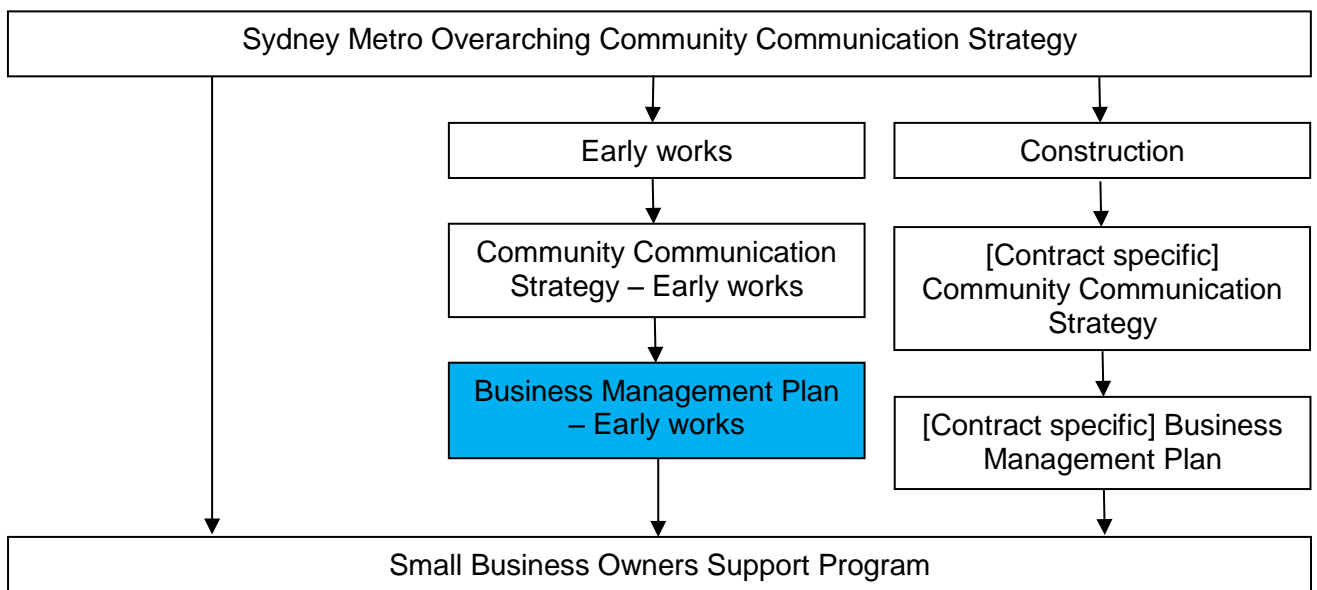
1.3.1 Chatswood to Sydenham early works

- The Community Communication Strategy – Early Works (CCS-EW) describes the approach Transport for NSW will use to manage engagement and ongoing consultation with stakeholders and the community with an interest in, or potentially affected by Sydney Metro City & Southwest early works between Chatswood and Sydenham.
- This Business Management Plan – Early Works (BMP-EW) specifically describes the approach to manage engagement and ongoing consultation with businesses within 50 metres of the Project.

1.3.2 Chatswood to Sydenham construction

The construction contractors engaged to build Sydney Metro City & Southwest will prepare a Community Communications Strategy and Business Management Plan to cover their works to comply with the planning approval.

Figure 1 Where this plan sits in the hierarchy



1.4 Minister's Conditions of Approval

The Projects' Minister's Conditions of Approval (MCoA) approval requires the preparation and implementation of a Business Management Plan.

This document fulfils the requirements of the MCoA as the Business Management Plan for the early works portion of the Project including:

- demolition work between Q2 2017 and Q4 2017,
- construction of the Sydney Yard Access Bridge between Q2 2017 and Q1 2018,
- construction of new overhead wiring support structures and drainage infrastructure in the rail corridor between Chatswood and Artarmon Stations between Q1 2018 and Q3 2019,
- initial site establishment activities for the Tunnel and Station Excavation (TSE) Works during Q4 2017
- Phase 2 early work at 9-19 Elizabeth Street between September 2018 and February 2019 at the Martin Place station site.

Macquarie Group will deliver the new Sydney Metro Martin Place integrated station development (MPISD), including the new Martin Place Station, two new buildings above the station as well as new underground pedestrian connections and improvements to the public domain.

Lendlease will undertake these works on behalf of Macquarie Group. Lendlease is required to prepare a Community Communications Strategy for the MPISD works (CCS-MPS) which will be submitted to DPE for approval prior to construction starting. Early work at Martin Place North (including 9-19 Elizabeth Street) will be delivered in accordance with the requirements of this document until the CCS-MPS is approved and construction starts.

Table 1 outlines the MCoA and where they are addressed in this or subsequent plans.

Table 1 Minister's Conditions of Approval relevant to business management

Ref	Requirement	Section
E64	• The Proponent must prepare and implement a Business Management Plan to minimise impact on businesses adjacent to major construction sites during construction of the CSSI. The Plan must be prepared before construction and must include but not necessarily be limited to:	All
	• (a) measures to address amenity, vehicular and pedestrian access during business hours and visibility of the business appropriate to its reliance on such, and other reasonable matters raised in consultation with affected business;	Section 5 Section 7
	• (b) a Business Consultation forum linked to the Community Communication Strategy required by Condition B1;	Section 4.1 Section 4.2
	• (c) Business Management Strategies for each construction sites (and/or activity), identifying affected businesses and associated management strategies, including the employment of place managers and specific measures to be put in place to assist small business owners adversely impacted by the construction of the CSSI;	Section 4.1 Section 4.4 Section 5 Section 7 Appendix A

Ref	Requirement	Section
	<ul style="list-style-type: none"> • (d) a Small Business Owners' Support Program to provide assistance to small business owners adversely impacted by construction of the CSSI. The Program must be administered by a Retail Advisory/Support Panel established by the Proponent. The Program must have appropriate specialist representatives and must report to the Proponent; 	Section 4.4
	<ul style="list-style-type: none"> • (e) a monitoring program to assess the effectiveness of the measures including the nomination of performance parameters and criteria against which effectiveness of the measures will be measured; and 	Section 6
	<ul style="list-style-type: none"> • (f) provision for reporting of monitoring results to the Secretary, as part of the Compliance Tracking Program required in Condition A28. 	Section 6
E86	<ul style="list-style-type: none"> • During construction, measures must be implemented to maintain pedestrian and vehicular access to, and parking in the vicinity of, businesses and affected properties. Alternative pedestrian and vehicular access, and parking arrangements must be developed in consultation with affected businesses. Such arrangements must be outlined in the Business Management Plan required in Condition E64 and implemented as required. Adequate signage and directions to businesses must be provided before, and for the duration of, any disruption. 	Section 5

2 About Sydney Metro

Sydney Metro is a new world-class railway for Sydney.

Services start in the city's north west in the first half of 2019 on Australia's first fully-automated railway, with 13 metro stations and 4,000 new commuter car parking spaces. A new generation of metro trains will run every four minutes in the peak in each direction. Customers won't need a timetable, they'll just turn up and go.

Sydney's fast, safe and reliable metro trains are fully-air conditioned with new customer benefits like multi-purpose spaces for luggage and parents with prams, as well as wheelchair spaces and priority seating in each carriage. Technology like platform screen doors – used for the first time in Australia – will keep people and objects away from the tracks, also allowing trains to get in and out of stations much faster. All metro stations will be fully accessible with lifts and level access between platforms and trains, making it easier for more customers to use public transport.

From the north west, metro rail is being extended under Sydney Harbour, through new underground city stations and beyond to the south west. In 2024, Sydney will have 31 metro railway stations and a 66km standalone metro railway system. There will be capacity for a metro train every two minutes in each direction under the Sydney city centre.

Sydney's new metro, together with signalling and infrastructure upgrades across the existing Sydney suburban rail network, will increase the capacity of train services entering the Sydney CBD – from about 120 an hour currently to up to 200 services beyond 2024. That's an increase of up to 60 per cent capacity across the network to meet demand.

New metro rail will be extended to Western Sydney in the second half of the 2020s – the Sydney Metro West project will link the Sydney city centre with Greater Parramatta, doubling rail capacity between these centres and linking communities along the way with a new underground railway.

3 Early works scope

The following table outlines the early works scope across the Sydney Metro construction sites between Chatswood and Sydenham and the associated Place Manager responsible for engagement with business stakeholders.

Engagement with businesses during early works will be undertaken by a combination of Sydney Metro Place Managers and Contractor Place Managers.

Table 2 Early works scope

Site	Explanation	Place Manager
Chatswood	<ul style="list-style-type: none"> • Demolition by Delta Group <ul style="list-style-type: none"> – Site establishment – Aerial Bundling Cabling Low Voltage works – Soft strip out of buildings – Decommission of Ausgrid Substation – Demolition of former Ausgrid site • Site establishment by JHCPBG <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services – Installation of noise walls and environmental controls – Construction of internal access roads – Installation of site facilities – Vegetation clearing 	Robin Baird (TfNSW until 31 July 2017) Kylie Brosnan (JHCPBG)
Chatswood to Artarmon Rail Corridor	<ul style="list-style-type: none"> • Construction of overhead wiring support structures between Albert Street, Chatswood and Brand Street Artarmon • Removal of overhead wiring support structures between Albert Street and Hopetoun Avenue, Chatswood • Construction of a retention basin construction between Drake Street and Brand Street, Artarmon • Drainage works between Hopetoun Avenue, Chatswood and Drake Street, Artarmon 	Alex Parker (TfNSW)
Artarmon	<ul style="list-style-type: none"> • No early works required 	Robin Baird (TfNSW until 31 July 2017) Kylie Brosnan (JHCPBG)
Crows Nest	<ul style="list-style-type: none"> • Demolition by Delta Group 	Jonathan Lloyd

Site	Explanation	Place Manager
	<ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings • Site establishment by JHCPBG <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services – Installation of noise walls and environmental controls – Installation of site facilities – Removal of vegetation 	(TfNSW until 31 July 2017) Heather Jackson (JHCPBG)
Victoria Cross South	<ul style="list-style-type: none"> • Demolition by Delta Group <ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings 	Jonathan Lloyd (TfNSW until 31 July 2017) Heather Jackson (JHCPBG)
Victoria Cross North	<ul style="list-style-type: none"> • Site establishment by JHCPBG <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services – Installation of environmental controls – Construction of noise walls and acoustic shed – Installation of site facilities – Removal of vegetation 	Jonathan Lloyd (TfNSW until 31 July 2017) Heather Jackson (JHCPBG)
Blues Point	<ul style="list-style-type: none"> • No early works required 	Robin Baird (TfNSW until 31 July 2017) Heather Jackson (JHCPBG)
Barangaroo	<ul style="list-style-type: none"> • Early works by JHCPBG <ul style="list-style-type: none"> – Traffic changes and removal of parking on Hickson Road – Protection of heritage wall along Hickson Road – Removal of vegetation – Site establishment activities including installation of environmental controls, installation of noise walls, relocation of existing services, installation of site facilities 	Mark Dowsing (JHCPBG)
Bligh Street	<ul style="list-style-type: none"> • Site establishment by JHCPBG <ul style="list-style-type: none"> – Installation of environmental controls – Construction of temporary access – Relocation of existing services 	Amy McDonald (JHCPBG)

Site	Explanation	Place Manager
	<ul style="list-style-type: none"> – Construction of noise wall and acoustic shed – Installation of site facilities 	
Martin Place North – Phase 1	<ul style="list-style-type: none"> • Demolition by Metropolitan Demolitions <ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings 	Jonathan Lloyd (TfNSW until 31 July 2017) Amy McDonald (JHCPBG)
Martin Place North – Phase 2	<ul style="list-style-type: none"> • Early work at 9-19 Elizabeth Street by Lendlease <ul style="list-style-type: none"> – Site establishment – Soft strip out of building – Scaffold erection – Class B Hoarding installation – HAZMAT removal – Services disconnection – Geotechnical investigations 	Emily Hargreaves (Lendlease)
Martin Place South	<ul style="list-style-type: none"> • Demolition by JHCPBG <ul style="list-style-type: none"> – Site establishment – Soft strip out of building – Demolition of building 	Jonathan Lloyd (TfNSW until 31 July 2017) Amy McDonald (JHCPBG)
Pitt Street North	<ul style="list-style-type: none"> • Demolition by Delta Group <ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings 	Emily Smith (TfNSW until 31 July 2017) David Simpfendorfer (JHCPBG)
Pitt Street South	<ul style="list-style-type: none"> • Demolition by JHCPBG <ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings 	Emily Smith (TfNSW until 31 July 2017) David Simpfendorfer (JHCPBG)
Sydney Yard Access Bridge	<ul style="list-style-type: none"> • Laing O'Rourke <ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings on Regent Street 	Robin Baird (TfNSW)
Waterloo	<ul style="list-style-type: none"> • Demolition by Delta Group <ul style="list-style-type: none"> – Site establishment – Soft strip out of buildings – Demolition of buildings • Site establishment by JHCPBG <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services 	Michael Lloyd (TfNSW until 31 July 2017) Faye Rescigno (JHCPBG)

Site	Explanation	Place Manager
	<ul style="list-style-type: none"> - Installation of noise walls and environmental controls - Installation of site facilities - Removal of vegetation 	
Marrickville	<ul style="list-style-type: none"> • Demolition by Delta Group <ul style="list-style-type: none"> - Site establishment - Soft strip out of buildings - Demolition of buildings • Site establishment by JHCPBG <ul style="list-style-type: none"> - Utility, heritage, geotechnical and contamination investigations - Relocation of existing utility services - Installation of noise walls and environmental controls - Construction of haul roads and offices on site - Vegetation clearing - Minor earthworks for precast works area 	<p>Emily Smith (TfNSW until 31 July 2017)</p> <p>Faye Rescigno (JHCPBG)</p>

4 Business Engagement Approach

Consultation before and during early works, will lay a good foundation for engagement throughout major construction by the Principal contractors. Engagement will focus on businesses adjacent to construction sites who are likely to be affected by early works activities. The aim will be to understand their business operations, and where possible, develop mitigation measures and respond to the reasonable requirements of the business.

Engagement with other stakeholders and the community is covered by the Community Communications Strategy – Early Works.

4.1 Our approach

Sydney Metro's approach to business engagement during early works is to:

- Provide businesses with information about construction progress
- Ensure businesses understand the scope of the works and mitigation measures
- Ensure businesses understand the proposed timing of the works
- Consult with businesses and take steps to minimise potential impacts
- Ensure the project team understands the operational requirements and sensitivities of businesses around each site
- Maintain and protect Transport for NSW and Sydney Metro's reputation.

Encouraging business understanding of the project is essential. If an activity and the need for it are fully understood, businesses can be more tolerant of short-term impacts.

By undertaking open and honest communication with businesses, working to minimise impacts and being approachable and responsive during this project, Transport for NSW's reputation can be maintained or improved and the project delivered on schedule.

4.2 Tools

A full suite of Sydney Metro's communication tools are outlined in the *Overarching Community Communications Strategy*. The business engagement tools to be used during early works will include:

- **Place Managers** to be the single point of contact for affected businesses and the project team, who will proactively doorknock and consult with businesses and also respond quickly to any issues or complaints raised. The purpose of business consultation will be to understand any specific aspects of businesses operations which will need to be considered when implementing the mitigation measures described in Section 5. Place Managers are also responsible for ensuring that any business consultation is documented and communicated to the relevant members of the project team;
- **Business surveys** to understand their business requirements including operating hours, main delivery times, reliance on foot traffic, any signage or advertising that may be impacted, customer origin, and other information specific to the business that will need to be considered in early works planning (See Appendix B);

- **Notifications** including **maps** to keep businesses informed, explaining the purpose of the works, what they can expect, and any potential impacts (delivered in paper or electronic format);
- **Newsletter** to provide a three month look-ahead to properties within 500 metres of the construction site on a quarterly basis (delivered in paper or electronic format);
- **Fact sheets** (as required) to provide detail on aspects of the work and the project;
- **Newspaper advertising** to advise of work starting, the community contact facilities and road closures for example;
- **Mobile community information centre**;
- **Communications Management Control Group** Sydney Metro will establish a new group or attend existing forums to discuss project activities with neighbouring infrastructure projects;
- **Business Consultation Forum** Contractors will establish a new forum or attend existing business forums to discuss project activities. This will be augmented by stakeholder engagement activities outlined in the Community Communications Strategy and the Overarching Community Communications Strategy.
- **Contact facilities and information points:**
 - Project website - www.sydneymetro.info
 - Facebook - www.facebook.com/SydneyMetro
 - 24-hour community information line - 1800 171 386
 - Postal address - PO Box K659, Haymarket, NSW 1240
 - Community email address
 - sydneymetro@transport.nsw.gov.au
 - tunnels@transport.nsw.gov.au
 - MartinPlaceMetro@transport.nsw.gov.au
- **Briefings** to strata managers, building owners, council officers and local business chambers;
- **Mitigation measures** to respond to the reasonable requirements of the business; and
- **Stakeholder database** to record interactions with business and to record business information collected in the business surveys.

4.3 Enquiries and complaint management

Enquiries and complaints will be managed in accordance with the Sydney Metro Overarching Community Communication Strategy and the Sydney Metro Complaints Management System. Both documents are available on the Sydney Metro project website.

4.4 Small Business Owners Support Program

The Small Business Support Program (SBOSP) will provide assistance to small business owners located within 50 metres of, and adversely impacted by, the construction of Sydney Metro City & Southwest.

For the purposes of this plan, a 'small business' is defined as a business that employs fewer than 20 (Source: Australian Bureau of Statistics). For further details, please refer to the SBOSP.

5 Key Issues and mitigation measures

Table 3 Key issues and mitigation measures

Issues	Communication and mitigation measures
Business operations	
<ul style="list-style-type: none"> • Coordination of information for tenants and property owners 	<ul style="list-style-type: none"> • Regular notifications and newsletters (including contributing to Sydney Trains notifications for work during possessions) • One on One meetings on request • Door knocks as required - both prior to works and as stakeholder checks after works • Attend stakeholder meetings to communicate Project information to their client base • Community contact facilities • Strata/building managers and owners notified of scheduled and emergency work in the area when necessary • Meetings arranged with strata/building managers and owners • Strata/building managers and owners informed of works before they start • Coordinate communications through the Communication Management Control Group • Implement the Small Business Owners Program
Noise and vibration	
<ul style="list-style-type: none"> • Effects on sensitive equipment • Effects on quiet enjoyment (particularly for food and beverage businesses) • Construction traffic noise (deliveries and spoil movements) • Vibration generated by construction activities 	<ul style="list-style-type: none"> • Early engagement with neighbouring stakeholders on likely noise and vibration impacts • Implementation of mitigation measures in the Construction Noise and Vibration Management Plan, Construction Noise and Vibration Impact Statements (CNVIS), Minor Works Approval or Out of Hours Approval where relevant • Noise minimised through, use of appropriate plant, tools and techniques and adaptive programming, where possible. Information on specific noise and vibration reduction outcomes for each site can be found in the relevant CNVIS. Noise reduction strategies to be implemented with consideration given hours of operation and sensitive periods identified in Appendix A. • High impact noise works staged with respite periods as required by the Environment Protection Licence or planning approvals. • Temporary noise screens used around equipment, where appropriate • Staff Induction and tool box meetings prior to noisy activities to

Issues	Communication and mitigation measures
	<ul style="list-style-type: none"> highlight acceptable work force behaviour Noise and or vibration monitoring offered in response to complaints Referral to Small Business Advisory Panel for advice on small business complaints where appropriate
Dust	
<ul style="list-style-type: none"> Dust generated by construction activities Concern about health impacts of dust 	<ul style="list-style-type: none"> Dust minimised by using water carts, water sprayers, street sweepers, chemical and organic ground cover, hard stands and limiting activities on windy days where necessary
Access	
<ul style="list-style-type: none"> Access for deliveries and customers Traffic changes on local roads Impacts to local street parking Traffic modifications including changes to footpaths Utility works affecting footpath or road access 	<ul style="list-style-type: none"> Coordination of works with deliveries and business priorities, where possible Installation of suitable signage to direct pedestrians, delivery drivers and customers where appropriate
Construction traffic	
<ul style="list-style-type: none"> Heavy vehicle movements on local roads 	<ul style="list-style-type: none"> Implement site specific Traffic Management Plans Coordinate traffic management with the CBD Coordination Office Construction traffic movements minimised in peak times, where possible Heavy vehicle specific access and egress locations and routes to minimise local congestion Truck driver tool box meetings on localised conditions Out of hours deliveries to minimise impacts of oversized vehicles on local roads
Property impacts	
<ul style="list-style-type: none"> Concerns about potential property damage Potential effects of vibration and settlement 	<ul style="list-style-type: none"> Property Condition Surveys offered where eligible. Refer to relevant CNVIS for each site Vibration modelling information Distribute fact sheets Protection of heritage items using hoarding
Utility relocation and continuity of supply	
<ul style="list-style-type: none"> Utility works affecting footpath or road access 	<ul style="list-style-type: none"> Detailed briefings for businesses potentially affected Timing works, particularly service cutovers, to minimise potential impacts in consultation with relevant service providers

Issues	Communication and mitigation measures
	<ul style="list-style-type: none"> • Provide alternative service where necessary to maintain essential supply
Visual amenity and visibility	
<ul style="list-style-type: none"> • Impacts to visual amenity (overlooking or directly next door to sites) • Vandalism of site hoarding • Visibility of retail signage and shopfronts 	<ul style="list-style-type: none"> • Retain vegetation where possible or for as long as practical • Protection of trees to be retained • Hoarding designed in line with Sydney Metro Brand Style Guidelines • Prompt graffiti removal from hoarding, buildings, plant and surroundings kept well maintained and clean • Hoarding designed to maximise visibility of retail signage and shopfronts. • Explore opportunities for signage and wayfinding to maintain business visibility • Implement Small Business Owners Program to promote local businesses
Cumulative impacts	
<ul style="list-style-type: none"> • Multiple works in the one location (Chatswood) • Adjacent projects 	<ul style="list-style-type: none"> • Coordinate communications through the communication Management Control Group

6 Monitoring and reporting

Due to the short-term and intermittent nature, and low impact of early work activities to businesses, business monitoring will not be formally undertaken for work covered by this plan. Business monitoring will formally commence in accordance with the delivery contractors approved project Business Management Plan.

Feedback received during doorknocks and incoming correspondence (emails and phone calls) will be informally monitored and any dissatisfaction from businesses recorded and managed in accordance with the Construction Complaints Management System in the first instance. Complaints are reported on daily through the Daily Complaints Report.

7 Communication implementation plan

Site specific details can be found in Appendix A including a site overview, potential issues and business stakeholder lists. The following implementation plan will be rolled out across all sites. For detail of specific business stakeholders, refer to the relevant site specific appendix.

Responsibilities for implementing these tools can be found in the Overarching Community Communications Strategy, section 8.

Table 4 Communication implementation plan

Project phase	Communication tools	Stakeholder	Timing
Project start-up	Communications Management Control Group	Neighbouring infrastructure projects (cumulative impacts) Government agencies Local council	Monthly or as required
	Mobile Community Information Centre	Local events like markets and fairs, shopping centre displays etc.	Throughout construction
	Briefings	Specific businesses (see site specific details in Appendix A)	As required or requested
	Business Survey	Properties within 50m	Prior to preparing this plan
Site investigations	Notification letter	Delivered to properties within 100m or work in standard construction hours, 200m for out of hours work**	7 days prior to work starting
	Doorknock (if intrusive or loud)	Immediate neighbours	
Site establishment	Newsletter	Properties within 500m	At site establishment On a quarterly basis
	Notification letter	Delivered to properties within 100m or work in standard construction hours, 200m for out of hours work**	7 days prior to work starting

Project phase	Communication tools	Stakeholder	Timing
	Site signage Hoarding banners Directional signage	People passing by the site	As required
	Doorknock	Properties within 50m	7 days prior to work starting
Out of hours work	Notification letter	Delivered to properties within 200m **	7 days prior to work starting
	Doorknock	Properties within 50m	7 days prior to work starting
HV night work	Notification letter	Delivered to properties within 200m **	7 days prior to work starting
Planned service disruptions	Included in notification letter	Delivered to properties within 200m **	7 days prior to disruption
Emergency work*	Notification letter Doorknock	Affected properties	Within 2 hours
Work during rail possessions	Sydney Trains notification	Sydney Trains delivery area (250m on either side of the rail corridor)	Delivered prior to possession period by Sydney Trains
Construction milestones	Included in notification letter	Delivered to properties within 100m or work in standard construction hours, 200m for out of hours work**	7 days prior to new milestone
	Doorknock	Properties within 50m	7 days prior to new milestone
	Briefings	Specific businesses (see site specific details in Appendix A)	As required or requested
Traffic changes	Included in notification letter	Delivered to properties within 100m or work in standard construction hours, 200m for out of hours work**	7 days prior to work starting 7 days prior to new milestone
	VMS Traffic alert	Road users	7 days prior to work starting 7 days prior to new milestone

Project phase	Communication tools	Stakeholder	Timing
	Bus stop notices		

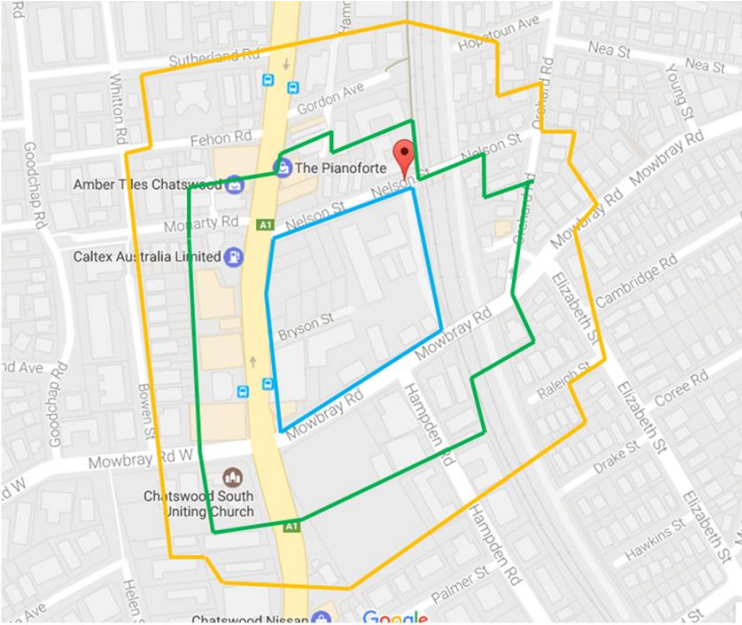
** Work required to repair damaged utilities and/or make an area safe after an incident outside standard construction hours.*

*** If the impact of the work being notified will extend beyond this radius, the delivery area will be expanded*

Appendix A Site specific details

A.1 Chatswood dive site

Table 1 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> • Chatswood dive site 	
Responsible contractor	<ul style="list-style-type: none"> • JHCPBG • Demolition works by Delta Group 	
Place Manager	<ul style="list-style-type: none"> • Robin Baird (TfNSW until 31 July 2017) • Kylie Brosnan (JHCPBG) 	
Start date	<ul style="list-style-type: none"> • April 2017 	
Location	<ul style="list-style-type: none"> • The site is bordered by Mowbray Road, Pacific Highway and Nelson Street (and the rail corridor), Chatswood 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of early work	<ul style="list-style-type: none"> • Minor works (Subject to Minor Works Approval) • Demolition works from April 2017 <ul style="list-style-type: none"> – Service disconnections and temporary service establishment – Site establishment – Hoarding installation 	<ul style="list-style-type: none"> • Site establishment from October 2017 <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services – Installation of noise walls and environmental controls – Construction of internal access roads

Item	Description	
	<ul style="list-style-type: none"> - Strip out and Hazmat removal - Aerial Bundling Cabling Low Voltage works - Decommissioning Ausgrid Substation - Building demolition 	<ul style="list-style-type: none"> - Installation of site facilities - Vegetation clearing
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved 	

Table 2 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on neighbouring businesses • Construction traffic noise including workforce, deliveries and truck movements
Traffic and access	<ul style="list-style-type: none"> • Maintaining driveway access and/or onsite customer parking • Additional traffic including large vehicles on surrounding streets, Nelson Street and Orchard Road. • Traffic modifications including signage changes to footpath and pedestrian diversions • Utility works affecting footpath access
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement • Dust
Business operations	<ul style="list-style-type: none"> • Congestion and access to premises for customers and staff • Health impacts to business staff and customers from dust • Maintaining on-street parking for customers and staff
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> • 33 kV utility works between Willoughby and Chatswood • Main North and North Shore Corridor Works between Waitara and Waverton
Landscape	<ul style="list-style-type: none"> • Trees on the perimeter of Mowbray Road
Heritage	<ul style="list-style-type: none"> • Heritage Listed Mowbray House

Table 3 Business overview

Business name	Special requirements
Great Northern Hotel 522 Pacific Highway	<ul style="list-style-type: none">• Vehicle access - deliveries via Pacific Highway and Mowbray Road intersection received daily
Chemist shop	<ul style="list-style-type: none">• No specific requirements
Baby Bounce 544 Pacific Highway	<ul style="list-style-type: none">• Single axil rigid heavy vehicle access – via Pacific Highway loading dock beneath building
Red Flame 546 Pacific Highway	<ul style="list-style-type: none">• Single axil heavy rigid vehicle access – via Pacific Highway reverses down the drive way on southern side of building. Up to 6 deliveries per day to builders and retail clients
Demir Leather 552-554 Pacific Highway	<ul style="list-style-type: none">• Showroom only, loading dock via Moriarty Road
Caltex Service Station 572 Pacific Highway	<ul style="list-style-type: none">• 24 Hour operation, drive way access at all times and power continuity
Maurer Funerals 574 Pacific Highway	<ul style="list-style-type: none">• 24 Hour operation, drive way access at all times and power continuity
Amber Tiles 582 Pacific Highway	<ul style="list-style-type: none">• Heavy rigid vehicle access - deliveries via Holmes Lane
Dulux Paints 613-619 Pacific Highway	<ul style="list-style-type: none">• Heavy rigid vehicle access - deliveries via Nelson Street

A.2 Chatswood to Artarmon rail corridor

Table 4 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> Chatswood to Artarmon rail corridor 	
Responsible contractor	<ul style="list-style-type: none"> Laing O'Rourke 	
Place Manager	<ul style="list-style-type: none"> Alex Parker (TfNSW) 	
Start date	<ul style="list-style-type: none"> February 2018 	
Location	<ul style="list-style-type: none"> The site comprises the rail corridor between Chatswood Station and Brand Street, Artarmon, and the rail corridor between Artarmon Station and Gore Hill Freeway 	
Notification key	<p> — Site boundary — 50m — 100m </p>	
Scope and	<ul style="list-style-type: none"> Minor works (Subject to Minor Works Approval) 	<ul style="list-style-type: none"> Retention basin construction between Drake Street and Brand



Item	Description	
timing of early work	<ul style="list-style-type: none"> - Service location and geotechnical investigations – November 2017 • Overhead wiring structure construction between Albert Street, Chatswood and Brand Street Artarmon <ul style="list-style-type: none"> – Install footings (February 2018 – November 2018) across 6 possession weekends – Install masts (August 2018 – February 2019) – across 5 possession weekends – Install booms (October 2018 – April 2019) – across 4 possession weekends 	Street Artarmon <ul style="list-style-type: none"> – Site establishment and vegetation removal - February 2018 – Test piling – May 2018 – Piling works – August 2018 – Brand Street stormwater connection – August 2018 – Retention basin construction – August 2018-December 2018 • Overhead wiring structure removal between Albert Street and Hopetoun Avenue, Chatswood – November 2018 • Drainage works between Hopetoun Avenue, Chatswood and Drake Street, Artarmon – December 2018-June 2019
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved • Some works will be undertaken during Sydney Trains possession weekends when trains are not in service. 	

Table 5 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on neighbouring businesses • Construction traffic noise including workforce, deliveries and truck movements
Traffic and access	<ul style="list-style-type: none"> • Additional traffic including large vehicles on surrounding streets
Property impacts	<ul style="list-style-type: none"> • Dust
Business operations	<ul style="list-style-type: none"> • Health impacts to business staff and customers from dust
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for residents and businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> • 33 kV utility works between Willoughby and Chatswood • Main North and North Shore Corridor Works between Waitara and Waverton • Chatswood dive site construction and tunnelling works

Item	Description
Landscape	<ul style="list-style-type: none"> • Trees in the rail corridor between Drake Street and Brand Street Artarmon
Heritage	<ul style="list-style-type: none"> • Heritage Listed Mowbray House

Table 6 Stakeholders and community overview

Stakeholders	Detail	
Local council	City of Willoughby	
Local member	The Hon. Gladys Berejiklian MP, Premier of NSW and Member for Willoughby	
Local groups	<ul style="list-style-type: none"> • Chatswood East Progress Association • Chatswood West Progress Association • Chatswood Chamber of Commerce • Artarmon Progress Association 	<ul style="list-style-type: none"> • Artarmon Village Chamber of Commerce • Artarmon Bush Care • Bike North
Government agencies	<ul style="list-style-type: none"> • Sydney Coordination Office • Roads and Maritime Services • Department of Planning and Environment • Office of Environment and Heritage • Transport for NSW • NSW Trains 	<ul style="list-style-type: none"> • NSW TrainLink • Sydney Trains • Sydney Water • Ausgrid • Heritage Council
Senior Stakeholders	<ul style="list-style-type: none"> • Federation of Willoughby Progress Associations • District Commissioner - North, Greater Sydney Commission 	<ul style="list-style-type: none"> • Mayor, Willoughby City Council • Willoughby District Historical Society Inc.
Road users	<ul style="list-style-type: none"> • Road users on Mowbray Road, Pacific Highway, Hampden Road, Orchard Road, Nelson Street and Gordon Avenue 	
Religious	<ul style="list-style-type: none"> • 35 Hampden Road – Artarmon Mosque 	

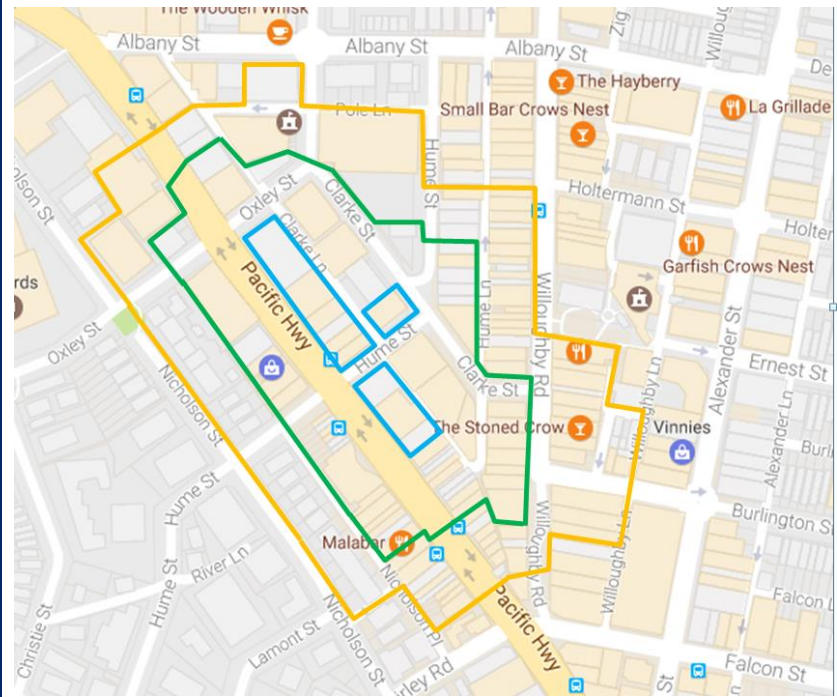
Table 7 Business overview

Business name	Special requirements
Chatswood Bowling Club 655 Pacific Highway	<ul style="list-style-type: none">• Expected noise and dust sensitivities during weekend possession works
Artarmon Medical Centre 128 Hampden Road	<ul style="list-style-type: none">• Monday to Friday 8:30am to 7pm, and Saturdays 8:30am to 12pm• Potential noise sensitivities during piling works for retention basin construction
Artarmon Family Day Care 7 Drake Street	<ul style="list-style-type: none">• Long day centre operating 8:00am to 6pm Monday to Friday.• Potential noise sensitivities during construction of retention basin and drainage works.
Bella Babes Child Care Centre 134-136 Hampden Road	<ul style="list-style-type: none">• Child Care facility operating 7:30am-6pm Monday to Thursday and 8.30am-5.30pm Friday.• Located on second floor or building, all play areas at rear of facility.• Potential noise sensitivities during piling works for retention basin construction.
SIPE Day Care 12 Drake Street	<ul style="list-style-type: none">• Monday to Friday 8:00-6pm Monday to Friday. Family day care centre located adjacent to rail corridor. Play areas along the side boundary and front yard.• Expected noise and dust sensitivities during construction of retention basin and drainage works.

A.3 Crows Nest station site

Table 8 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> • Crows Nest Station 	
Responsible contractor	<ul style="list-style-type: none"> • JHCPBG • Demolition works by Delta Group 	
Place Manager	<ul style="list-style-type: none"> • Jonathan Lloyd (TfNSW until 31 July 2017) • Heather Jackson (JHCPBG) 	
Start date	<ul style="list-style-type: none"> • 1 July 2017 	
Location	<ul style="list-style-type: none"> • The site is bordered by Pacific Highway, Clarke Lane, Oxley and Hume streets, Crows Nest 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of early work	<ul style="list-style-type: none"> • Minor Demolition works (Subject to Minor Works Approval) • Demolition works from July 2017 <ul style="list-style-type: none"> – Service disconnections and temporary service establishment – Site establishment – Hoarding installation – Strip out and Hazmat removal 	<ul style="list-style-type: none"> • Site establishment for from October 2017 <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services – Installation of noise walls and environmental controls – Installation of site facilities – Removal of vegetation



Item	Description
	– Building demolition
Construction hours	• Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved

Table 9 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on neighbouring residential buildings and businesses • Noise and vibration effects on adjacent childcare centre • Vibration impacts on sensitive equipment used by neighbouring businesses, for example medical premises and sound studios • Construction traffic noise including workforce, deliveries and truck movements
Traffic and access	<ul style="list-style-type: none"> • Maintaining access to rear driveways on Clarke Lane during demolition of adjacent buildings • Traffic modifications including signage changes to footpath and pedestrian diversions
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement • Dust impacts
Business operations	<ul style="list-style-type: none"> • Concern about health impacts to business staff and customers from dust, particularly adjacent childcare centre • Maintaining on-street parking for customers • Maintaining pedestrian access and providing clear signage to local businesses when diversion are required
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking the site
Cumulative Impacts	<ul style="list-style-type: none"> • Multiple residential apartment developments underway in the precinct with traffic, noise, dust and amenity impacts • Council reviewing Crows Nest Master Plan • Future plan for redevelopment of Hume Street Parklands

Table 10 Business overview - where impacts are negligible, businesses within a 50m radius are not included but are detailed in the CNVIS for demolition

Business name	Special requirements
Kelly's Place Children's Centre 36 Hume Street	<ul style="list-style-type: none"> • Access to drop off/pick up bay adjacent to centre must be maintained at all times, accessed by approximately 40 vehicles every morning and evening • Peak morning drop-off period between 730am to 930am • Peak afternoon pick-up period between 330pm to 6pm • Dust management • Children sleep during the day – the main sleeping period is between 11.45 and 2pm, however babies take two sleeps per day
28-34 Clarke Street	<ul style="list-style-type: none"> • Commercial building with standard operating hours. Tenants include DC Health Performance, Axient, Voice Logic, Short, Kenyon & Crane, Markwell Foods, WB Finance, pdml, ARCS Finance, Jet Interactive
Crows Nest Day Surgery 22 - 26 Clarke Street	<ul style="list-style-type: none"> • The day surgery has 2 operating theatres on site that are in use all day. • The operating theatres face the demolition site • Expected noise and dust sensitivity is high with moderate vibration sensitivity.
Special Needs Dentistry 22 - 26 Clarke Street	<ul style="list-style-type: none"> • Day surgery, including two operating theatres • The day surgery has 2 operating theatres on site that are in use all day. • The operating theatres face the demolition site. • Expected noise and dust sensitivity is high with moderate vibration sensitivity.
Crows Nest Eye Surgery 22 - 26 Clarke Street	<ul style="list-style-type: none"> • Assessment and consultation is carried out on site using diagnostic laser equipment. • No operations are carried out on site which is situated furthest in the building from the demolition. • The equipment falls within the category of normal vibration sensitivity. • Expected vibration impact is low to moderate.
22 - 26 Clarke Street	<ul style="list-style-type: none"> • In addition to the above the building contains a variety of health services and shopfronts with expected noise, dust and vibration sensitivity. Tenants include Specialist Endo Crows Nest, Specialist Paediatric Dental Practice, Northshore Oral & Maxofacial Surgery & Orthopaedic Spinal Surgery, Dental on Clarke, Jade Remedies and La Dimora Cafe
TSD - Audio Production Studio	<ul style="list-style-type: none"> • Vocal recording booth located on west side of the building overlooking the site. • Vocal recording requires quiet environment.

Business name	Special requirements
14-20 Clarke Street	<ul style="list-style-type: none"> Recording sessions typically last 5 to 6 hours and occur on most week days starting at 7.30am.
Mondo Media Studio 14-20 Clarke Street	<ul style="list-style-type: none"> Mondo Media share studio with TSD Audio Production. Recording studio working with Advertising and Audio books. The Recording booth is highly sound proofed with a floating floor. Mondo is on level 2 and closest to the 20 Clarke Street demolition site with expected high noise impact.
Awareness Institute 14-20 Clarke Street	<ul style="list-style-type: none"> Classes, workshops and meditation sessions Monday to Friday 7am to 9pm and weekends 9am to 5pm. Most sensitive period identified as 10am to 12pm for morning meditation classes.
SomnoMed – Dental Moulding 14-20 Clarke Street	<ul style="list-style-type: none"> Health services Potential vibration impacts.
14-20 Clarke Street	<ul style="list-style-type: none"> In addition to the above the building contains commercial tenants with standard operating hours including AG McDonald Consulting, Austin Thompson & Associates, BRMM, Business Payment Solutions & Speedydebit, Dijtal Pty Ltd, DMC Digital, Enzyme International, Inside Out PR, KTBR, Mantech Recruitment, Meliz Zim & associates, Optiled, Sourcefire, The DMC Initiative, The Property Lab, TSD
Nectar Coffee House 10-12 Clarke Street	<ul style="list-style-type: none"> Open from 7am to 330pm weekdays Peak morning period between 8am – 10am Peak lunch period between 12 noon – 2pm Reliant on customers from the direction of the Pacific Highway and visibility Pedestrian access is important Concerned about closure of Hume St during station excavation No parking onsite Deliveries received via Hume St
Labsonics 10-12 Clarke Street	<ul style="list-style-type: none"> Currently in a busy period May to September/ October - recording sessions booked 9am-6pm, Monday to Friday. Previous demo at 479 Pacific Highway meant they were unable to use studio, however contractor was able to timetable around their sessions. Labsonics are looking at installing a modular booth with a floating floor within their vocal recording booth in

Business name	Special requirements
	<ul style="list-style-type: none"> order to mitigate. • Audio post production studio for TV features and series. • The company has a recording booth on the 5th floor with an expected noise transmission loss of 25 - 30dBA. • ADR (Post singing) done in the studio. • A typical project will take 3 - 4 months to complete.
Molemap Dermatologists 10-12 Clarke Street	<ul style="list-style-type: none"> • Potential vibration sensitivity - treatment machines
Suite 501: Filmday, The Pulse and Lustre Pictures 10-12 Clarke Street	<ul style="list-style-type: none"> • Three companies sharing space. • Audio recording room located at rear on Clarke Street side of the building.
10-12 Clarke Street	<ul style="list-style-type: none"> • In addition to the above, health services and commercial offices with standard working hours. Tenants include Under Crows Nest - Cosmetic & Vein Clinic, College of Professional Psychology, Synergise Associates, The Radio Sales Network Pty Ltd and Grant Broadcasters Pty Ltd.
Nebula Hair Salon 3/10 Clarke Street	<ul style="list-style-type: none"> • Few deliveries to salon, approximately 1 per month • No parking onsite • Customers use Council car park • Busiest days are Friday and Saturday • Rely on walk ins 50 per cent of the time, visibility is important
Ism Studio 6-8 Clarke Street	<ul style="list-style-type: none"> • Floating floor recording room • The company works on TV commercial music and voice overs. • The sensitive receivers recording booth is well insulated with floating floor. • Noise transmission loss is expected to be in the range of 35 - 40 dBA. • ISM is situated on level 2, furthest in the building from the demolition works.
Eastway Studio 6-8 Clarke St	<ul style="list-style-type: none"> • Television production services business - editing facility.
Carolyn Andrews Psychotherapy	<ul style="list-style-type: none"> • Appointments Monday to Friday 6.30am to 6pm.

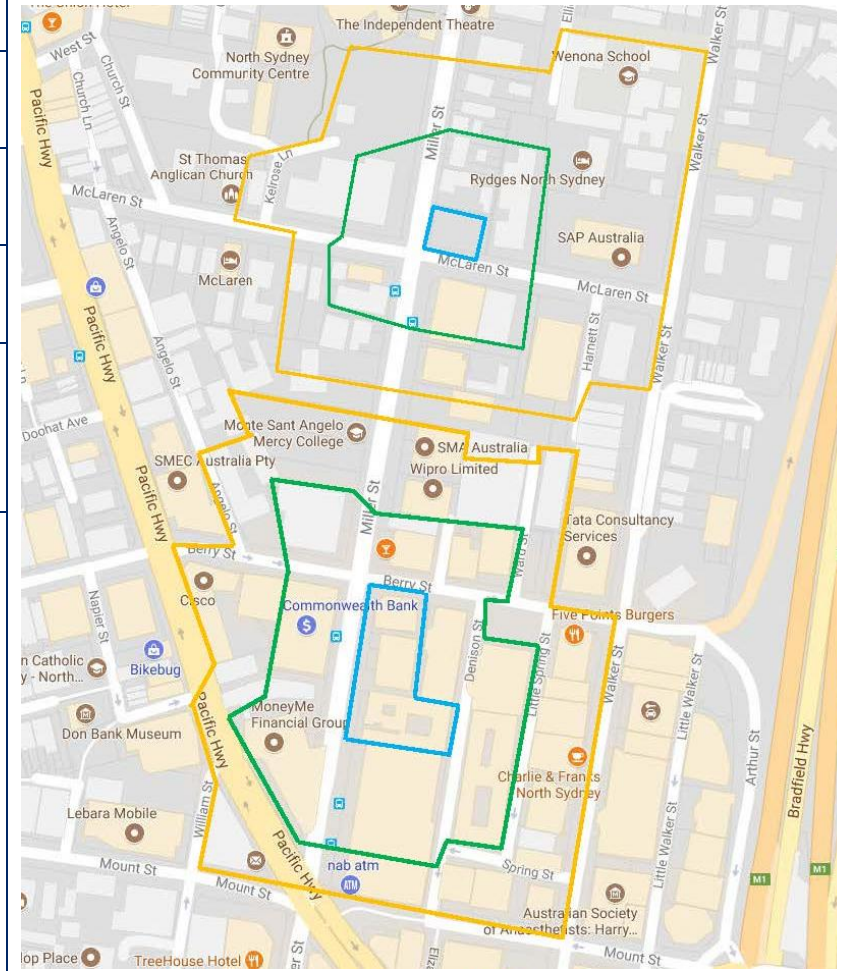
Business name	Special requirements
6-8 Clarke St	<ul style="list-style-type: none"> • Psychotherapy - Patient consultation needs to be undertaken in a quiet environment • The consultation room is fitted with extra internal of magnetite type.
Filthy Look Films 6-8 Clarke St	<ul style="list-style-type: none"> • Film and TV production company operating out of one room overlooking Clarke Lane on west side of building. • Conduct a small amount of filming on site most mostly post-production activities.
Seemee4 Productions 2-4 Clarke St	<ul style="list-style-type: none"> • Sound Production • No recording room
The Brunch Bar 9/7-11 Clarke Street	<ul style="list-style-type: none"> • Open from 6am to 3pm Monday to Fridays, Saturdays 7am to 11am • Busiest times are breakfast from 7am to 9pm and lunch 12noon to 2pm • Deliveries received to the front of the business on Hume St, typically between 8am to 10am • 80 per cent of customers are repeat customers
Ciao Ciao Pizza 7-11 Clarke Street	<ul style="list-style-type: none"> • Open Tuesdays to Sundays • Opening hours are evenings 5-9/10pm • Use of street parking for motorcycle which does deliveries • Currently have a private arrangement to park in Beaurepairs • Deliveries received to the back of the business via Hume Lane
Benchmark Sleep Services 39 Hume Street	<ul style="list-style-type: none"> • Standard opening hours 9-5pm • Staff parking at the back of the business accessed via Hume Lane • Customers are referred to the practise
Curves Gym 21-33 Hume Street	<ul style="list-style-type: none"> • Standard opening hours 9-5pm and Saturday mornings 730am – 12noon • Customers use Council carpark • 60 to 80 customers per day
Oil Paintings Plus & La Trende Curtains 473-475 Pacific Highway	<ul style="list-style-type: none"> • Retail shopfronts with standard opening hours. • Deliveries via Pacific Highway
Comfort & Fit	<ul style="list-style-type: none"> • Customer access via Hume Street

Business name	Special requirements
372 Pacific Highway	

A.4 Victoria Cross sites

Table 11 Victoria Cross overview

Item	Description
Site name	<ul style="list-style-type: none"> Victoria Cross
Responsible contractor	<ul style="list-style-type: none"> JHCPBG Demolition works by Delta Group
Place Manager	<ul style="list-style-type: none"> Jonathan Lloyd (TfNSW until 31 July 2017) Heather Jackson (JHCPBG)
Start date	<ul style="list-style-type: none"> Victoria Cross South - April 2017 Victoria Cross North – November 2017*
Location	<ul style="list-style-type: none"> Victoria Cross South is bordered by Miller, Berry and Denison streets, North Sydney (and 105 Miller Street) Victoria Cross North is located at 50-52 McLaren Street, North Sydney (on the corner of Miller Street)
Notification key	<p> — Site boundary — 50m — 100m </p>



Item	Description	
Scope and timing of early work	Victoria Cross South <ul style="list-style-type: none"> • Minor works (Subject to minor works approval) • Demolition works from April 2017 <ul style="list-style-type: none"> – Service disconnections and temporary service establishment, 189 Miller awning demolition Site establishment – Hoarding installation – Strip out and Hazmat removal – Scaffold installation – Building demolition 	Victoria Cross North (*subject to planning approval) <ul style="list-style-type: none"> • Site establishment from November 2017 <ul style="list-style-type: none"> – Utility, heritage, geotechnical and contamination investigations – Relocation of existing utility services – Installation of environmental controls – Construction of noise walls and acoustic shed – Installation of site facilities • Removal of vegetation
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved 	

Table 12 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on adjacent buildings • Noise and vibration from works affecting adjacent childcare centre (Victoria Cross South) • Noise and vibration effects on adjacent buildings including Wenona School, Rydges North Sydney (Victoria Cross North) • Construction traffic noise
Traffic and access	<ul style="list-style-type: none"> • Maintaining pedestrian access to adjacent buildings • Traffic modifications including signage changes to footpath and pedestrian diversions • Utility works affecting footpath access
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement • Issues salvaging contents from the heritage listed building to be demolished
Business operations	<ul style="list-style-type: none"> • Demolition noise and dust impacting outdoor dining space at neighbouring businesses • Maintaining drop off/pick up location and loading zones for adjacent businesses

Item	Description
	<ul style="list-style-type: none"> • Potential for increased pests impacting properties due to demolition of adjacent buildings
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site • Impact on visual amenity for outdoor dining spaces nearby to construction site
Cumulative Impacts	<ul style="list-style-type: none"> • Cumulative traffic impacts from other construction sites in North Sydney (particularly on Denison Street and north of Miller Street where multiple residential developments are underway)
Landscape	<ul style="list-style-type: none"> • Protection of trees on Miller Street and McLaren Street

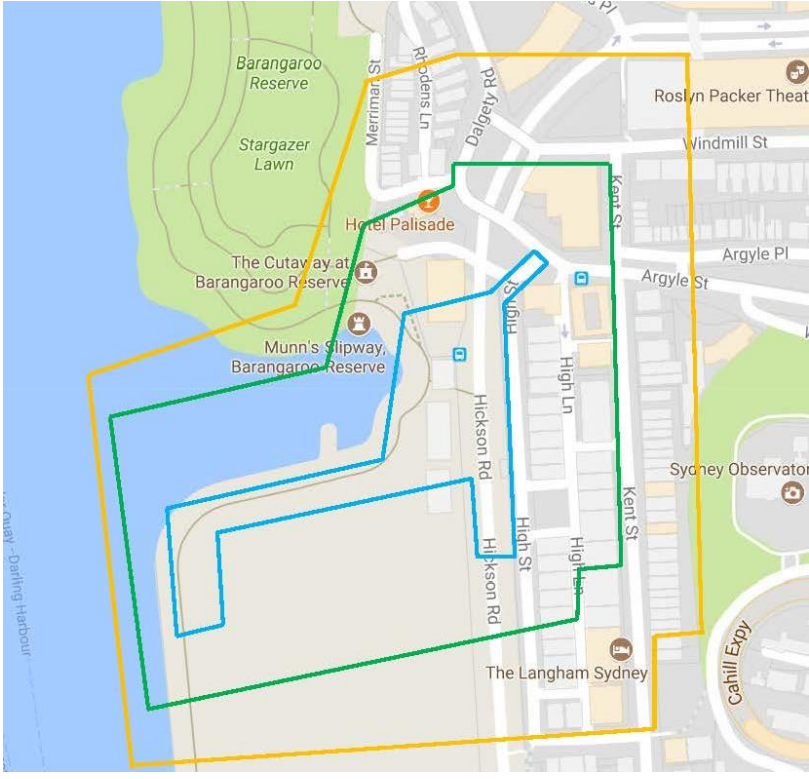
Table 13 Business overview

Business name	Special requirements
Rag & Famish 199 Miller Street	<ul style="list-style-type: none"> • Deliveries received throughout the day to loading zones on both sides of Berry Street • Concerned about the availability of loading zones • Concerned about pest management • Noise and vibration impacting patronage at café and outdoor dining space
Monte Sant Angelo 128 Miller Street	<ul style="list-style-type: none"> • Examination hall in proximity to demolition works
Wenona School 176 Walker Street	<ul style="list-style-type: none"> • Kindergarten to year 12 – 1,100 students including 50 boarders • Construction program currently underway
26-62 Berry Street	<ul style="list-style-type: none"> • Commercial office building • Standard working hours • Full tenant list in CNVIS for demolition.
50 Berry Street	<ul style="list-style-type: none"> • Commercial office building • Standard working hours • Full tenant list in CNVIS for demolition.
Only About Children	<ul style="list-style-type: none"> • Peak morning drop-off period between 8am – 930am

Business name	Special requirements
North Sydney Campus 65 Berry Street	<ul style="list-style-type: none"> • Peak afternoon pick-up period between 430pm - 530pm • Parents park below building in Wilsons carpark for drop offs/pick-ups (20 minutes free) • Use of outdoor balcony adjacent to site for recreation & meal times (outdoor lunchroom) • Concerned about air quality with regards to potential dust generated by demolition, as well as the removal of hazardous materials
65 Berry Street	<ul style="list-style-type: none"> • Commercial office building • Standard working hours • Full tenant list in CNVIS for demolition.
Residential Tower, 77 Berry Street	<ul style="list-style-type: none"> • 40 parking spaces for commercial tenants access off Denison Street • Existing retail carpark of 150 bays will be demolished in April 2017 • Demolition and reconstruction works planned in 2017 • Full tenant list in CNVIS for demolition.
MLC, 105-151 Miller Street	<ul style="list-style-type: none"> • 100 car parking spaces below the building used by tenant and accessed off Denison Street
Meet@105 Coffee Shop (directly adjacent to Tower Square)	<ul style="list-style-type: none"> • Busiest periods mornings 8am to 11am, and lunch 12noon to 1.30pm • Rely on visibility to attract new customers • Need quiet café space as many customers use the tables to hold informal meetings
Australian Catholic University	<ul style="list-style-type: none"> • Pedestrian safety
Rydges North Sydney 54 McLaren Street	<ul style="list-style-type: none"> • 167 rooms with 24 hour reception • On-site parking accessed via McLaren Street • Function rooms with capacity for 250 people for meetings, conferences, weddings and special events • Mundo Restaurant and Bar open for breakfast, lunch and dinner

A.5 Barangaroo station site

Table 14 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> • Barangaroo station site 	
Responsible contractor	<ul style="list-style-type: none"> • JHCPBG 	
Place Manager	<ul style="list-style-type: none"> • Mark Dowsing 	
Start date	<ul style="list-style-type: none"> • October 2017 	
Location	<ul style="list-style-type: none"> • Hickson Road (near Nawi Cove) 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of early work	<ul style="list-style-type: none"> • Early works from October 2017 <ul style="list-style-type: none"> – Traffic changes and removal of parking on Hickson Road – Protection of heritage wall along Hickson Road – Removal of vegetation Site establishment activities including installation of environmental controls, installation of noise walls, relocation of existing services, installation of site facilities 	

Item	Description
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved

Table 15 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on KU Lance Children’s Centre and surrounding residential and commercial properties
Traffic and access	<ul style="list-style-type: none"> • Traffic changes and loss of parking on Hickson Road • Heavy vehicle movements in the area • Pedestrian diversions and access to Barangaroo Reserve, The Cutaway, Wulugul Walk • Maintaining access during special events
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement on adjacent heritage buildings
Business operations	<ul style="list-style-type: none"> • Noise, vibration and dust impacts • Loss of parking on Hickson Road • Maintaining pedestrian access
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for residents, workers, visitors and tourists
Cumulative Impacts	<ul style="list-style-type: none"> • Construction works at Barangaroo South (including remediation and precinct reinstatement) and adjacent works at Barangaroo Central

Table 16 Business overview

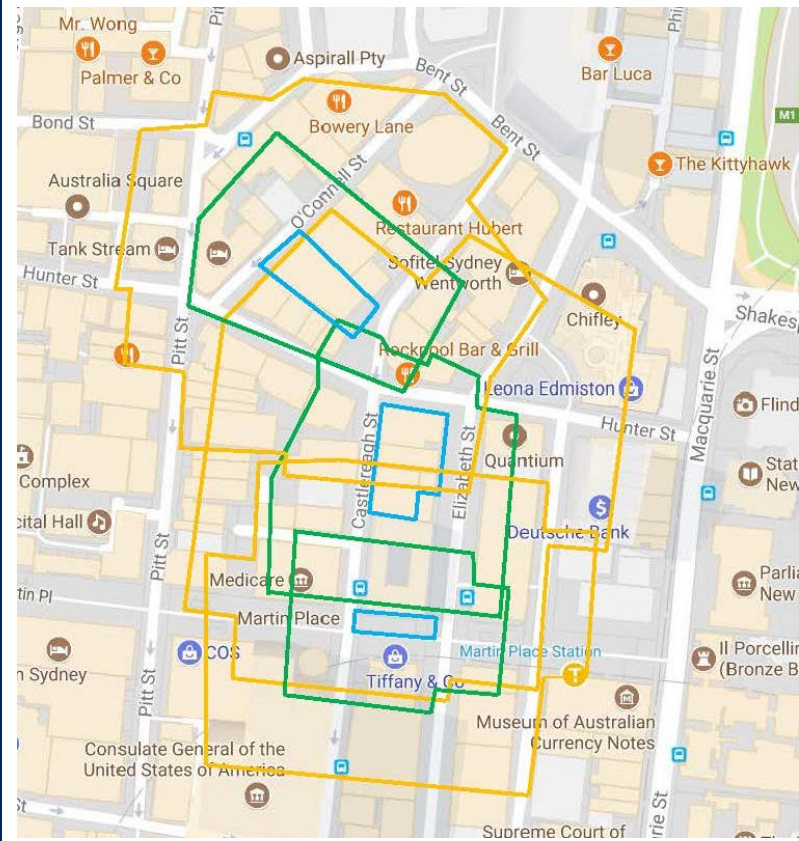
Business name	Special requirements
KU Lance Children’s Centre 37 High Street	<ul style="list-style-type: none"> • Currently upgrading playground • Requested Perspex noise wall – assessment currently underway • Cumulative impacts of ongoing development at Barangaroo
Wilson Car Parks –	<ul style="list-style-type: none"> • Maintain access to driveway

Business name	Special requirements
Barangaroo Reserve	<ul style="list-style-type: none"> • Maintain visibility of signage
Universal Pictures	<ul style="list-style-type: none"> • Commercial offices, no studio or production • Driveway and boomgate near works – access to be maintained • Regular deliveries
Hotel Palisade 35 Bettington Street	<ul style="list-style-type: none"> • Boutique accommodation (8 rooms) • Henry Deane cocktail lounge and bar
Sydney Theatre Company	<ul style="list-style-type: none"> • Operates three theatres in Walsh Bay • Planning major redevelopment of Wharf Theatre • Impact on patrons – parking, traffic changes, wayfinding
The Langham Sydney 89-113 Kent Street	<ul style="list-style-type: none"> • Boutique hotel with 98 rooms, restaurant, day spa and conference facilities • Not concerned about construction impacts
Barangaroo Delivery Authority (managing venues and events)	<ul style="list-style-type: none"> • Maintaining access to Barangaroo Reserve, The Cutaway and Waranara Terrace for events • Potential noise and vibration impacts on venues

A.6 Martin Place - Phase 1

Table 17 Martin Place overview

Item	Description	
Site name	<ul style="list-style-type: none"> • Martin Place 	
Responsible contractor	<ul style="list-style-type: none"> • JHCPBG • Demolition works by Metropolitan Demolitions 	
Place Manager	<ul style="list-style-type: none"> • Jonathan Lloyd (TfNSW until 31 July 2017) • Amy McDonald 	
Start date	<ul style="list-style-type: none"> • Martin Place North - May 2017 • Martin Place South – October 2017 • Bligh Street - October 2017 	
Location	<ul style="list-style-type: none"> • Martin Place North - bordered by Hunter, Castlereagh and Elizabeth streets, Sydney (and 50 Martin Place) • Martin Place South - 39 Martin Place (bordered by Castlereagh Street, Elizabeth Street and Martin Place) • Bligh Street entrance - 33 Bligh Street (street frontages on Bligh Street and O'Connell Street) 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of early work	<p>Martin Place North</p> <ul style="list-style-type: none"> – Demolition works from May 2017 Site establishment – HAZMAT removal – Soft strip-out – Scaffold Structural demolition <p>Bligh Street</p>	<p>Martin Place South</p> <ul style="list-style-type: none"> • Demolition works from October 2017 – Site establishment – Awning demolition – Hoarding installation – Strip out and Hazmat removal



Item	Description
	<ul style="list-style-type: none"> • Site establishment from October 2017 <ul style="list-style-type: none"> – Installation of environmental controls – Construction of temporary access – Relocation of existing services – Construction of noise wall and acoustic shed – Installation of site facilities
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved

Table 18 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on directly adjacent buildings • Noise and vibration from night/emergency works affecting nearby hotels and residential apartments (Medina Serviced Apartments, Sofitel Sydney Wentworth and Radisson Blu Plaza Hotel)
Traffic and access	<ul style="list-style-type: none"> • Temporary lane closures and traffic congestion impacting access to businesses around construction sites
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement on adjacent heritage buildings
Business operations	<ul style="list-style-type: none"> • Noise, vibration and dust impacts at 48 Martin Place (Macquarie Bank has events space and production studio, Commonwealth Bank has vibration sensitive vault) • Noise impacts at Channel 7 studios at 52 Martin Place • Loss of parking and loading zones • Maintaining pedestrian flows • Loss of amenity impacting on patronage at nearby cafés with outdoor seating
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site

Item	Description
Cumulative Impacts	<ul style="list-style-type: none"> • General disruption in the CBD and traffic implications due to light rail construction and nearby commercial demolition and construction projects

Table 19 Business overview

Business name	Special requirements
BHP Building 1-7 Castlereagh	<ul style="list-style-type: none"> • Standard office operating hours. One tenant operates a document control business 24/7 • Car park and deliveries access via laneway entrance between 1 and 9 Castlereagh Street • Ground floor commercial tenants deliveries via Castlereagh Street loading zone
Castlereagh Centre, 9-11 Castlereagh	<ul style="list-style-type: none"> • Operating hours 7.00am to 6.00pm, Monday to Sunday • Deliveries via loading dock off laneway between 1-7 and 9-13 Castlereagh Street between 6am to 2pm
City Freeholds House, 15 Castlereagh St	<ul style="list-style-type: none"> • Standard office operating hours • Deliveries to basement loading dock via Castlereagh Street • Car park with 45 spots entrance and exit via Castlereagh Street • Explore and Develop Childcare on Level 2 with approximately 80 kids. Drop off zone in basement (75% of parents drive). Drop off period between 7.00am and 9.30am, pick up period between 5.00pm and 6.30pm.
"The Aston", 1 Hosking Place	<ul style="list-style-type: none"> • Operating hours 24/7 • 44 serviced apartments with 95% occupancy rate • Food and linen deliveries and rubbish removal via Hosking Place
8 Chifley	<ul style="list-style-type: none"> • Standard office operating hours • Deliveries access via Elizabeth Street
17 Castlereagh	<ul style="list-style-type: none"> • Standard office operating hours • No loading dock, deliveries access from Castlereagh Street loading zone • Garbage pickup room access via Hosking Place
37 Bligh St	<ul style="list-style-type: none"> • Standard office operating hours • No loading dock, deliveries from street loading zones
City Mutual Office, 60-66 Hunter St	<ul style="list-style-type: none"> • Extended operating hours from 7am to midnight

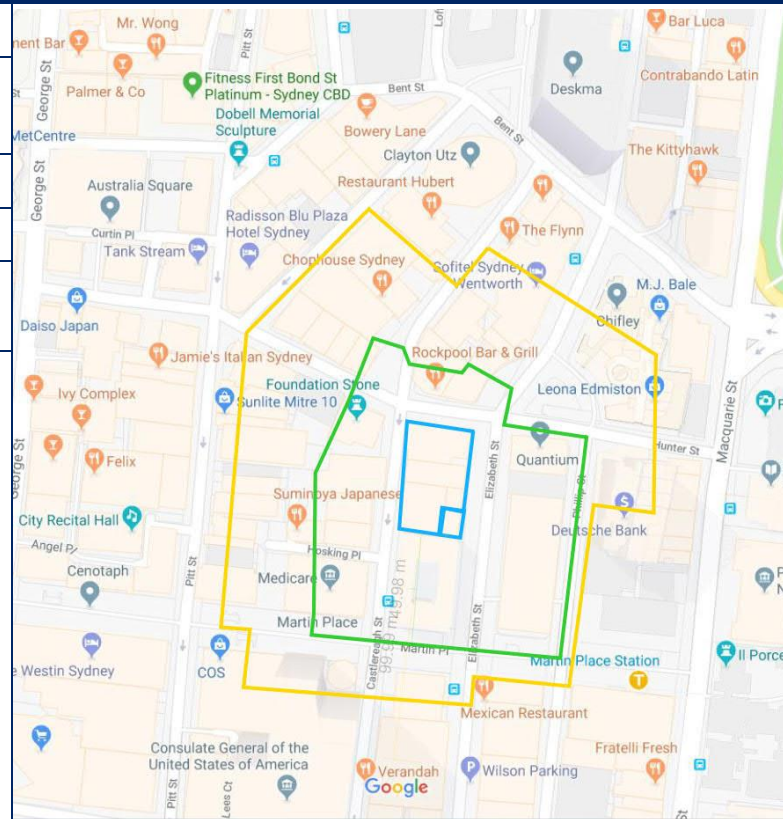
Business name	Special requirements
	<ul style="list-style-type: none"> • Deliveries/access via Bligh St
Rockpool Bar & Grill, Spice Temple, 60-66 Hunter St	<ul style="list-style-type: none"> • Extended operating hours from 8am to 1am • Deliveries typically between 7am and 3pm • Staff travel by public transport • 800-1000 customers per day arriving by foot, public transport and private drivers
Book Grocer	<ul style="list-style-type: none"> • Operating hours 8.00am to 8.00pm, Monday to Friday; 10.00am to 5.00pm, Saturday; 10.00am to 4.00pm, Sunday • Busiest times lunchtime and late afternoon • Deliveries via Elizabeth Street • High reliance on visibility with most customer's access on foot
City Convenience 1 Castlereagh Street	<ul style="list-style-type: none"> • Operating hours 6.00am to 2.00am, Sunday to Thursday. Open 24 hours Fridays and Saturdays • Busiest times: 8.00am to 10.00am; 12.00pm to 2.00pm; 4.00pm to 6.00pm • High volume of customers (approximately 500 per day) with a high reliance on store visibility. • 2 or 3 van/ ute deliveries per day via loading zone on Castlereagh Street • Customer's access on foot
Flight Centre 52 Martin Place	<ul style="list-style-type: none"> • Operating hours 9.00am to 5.30pm, Monday to Friday • Deliveries via Elizabeth Street • Busiest times between 12.00 and 2.30pm • Busiest trading periods February to March and Easter to June • Customer's access on foot
The Naked Duck 9-11 Castlereagh Street	<ul style="list-style-type: none"> • Busiest times between 8.00am to 10.00am and 12.00 to 2.00pm • Busiest trading periods around Christmas shopping months • Deliveries received via loading zone in basement, access via Castlereagh St • Amenity of outdoor eating area • High reliance on visibility with most customer's access on foot
Posh Printing	<ul style="list-style-type: none"> • Operating hours 8.30am to 5.00pm, Monday to Friday

Business name	Special requirements
1 Castlereagh Street	<ul style="list-style-type: none"> • 2 or 3 deliveries per week via loading zone on Castlereagh Street • Customer's main access via phone or email. Low reliance on visibility
The Wolf 37 Bligh Street	<ul style="list-style-type: none"> • Operating hours 7.00am to 10.00pm, Monday to Friday. • Busiest trading times 12.00pm to 2.00pm and 6.00pm to 8.00pm • Amenity of outdoor eating area
Macquarie Bank 50 Martin Place & 9 Elizabeth Street	<ul style="list-style-type: none"> • Access to the loading dock and car park for 50 Martin Place is via Castlereagh Street • Vibration sensitive bank security • Building has heritage value • Standard commercial operating hours • Sculpture in northern light well • Ground floor tenant (CBA) has access via Elizabeth Street, Castlereagh street and Martin Place
7 Network 52 Martin Place	<ul style="list-style-type: none"> • Studios in southern end of building • Limited exposure to noise and vibration from early works and initial demolition stages
Radisson Blu Plaza Hotel 27 O'Connell Street	<ul style="list-style-type: none"> • 364 rooms, Bentley Restaurant and Bar, The Fax Bar, day-spa, meeting and function rooms for up to 200 people • Main concerns are noise and traffic flow • Assessment of acoustic treatment of rooms facing Bligh Street
Dexus building 60 Castlereagh Street	<ul style="list-style-type: none"> • 20 storey retail and office building • Next to Martin Place South site – adjoining owners agreement in place
MLC Centre 19-29 Martin Place	<ul style="list-style-type: none"> • 67 floors of office space, retail and outdoor dining precinct • IGA and food court • Theatre Royal under redevelopment • Consulate General of the United States of America • Meetings with operations and retail managers
Henry Davis York Building 32-44 Martin Place	<ul style="list-style-type: none"> • Ground floor retail • Commercial offices – government departments (ATO, MyGov, Medicare) • Key concerns include noise, vibration and maintaining access

A.7 Martin Place – Phase 2

Table 5 Martin Place overview

Item	Description	
Site name	<ul style="list-style-type: none"> • Martin Place North (including 9-19 Elizabeth Street) 	
Responsible contractor	<ul style="list-style-type: none"> • Macquarie Group • Early work by Lendlease 	
Place Manager	<ul style="list-style-type: none"> • Emily Hargreaves 	
Start date	<ul style="list-style-type: none"> • September 2018 	
Location	<ul style="list-style-type: none"> • Martin Place North - bordered by Hunter, Castlereagh and Elizabeth streets, Sydney (and 50 Martin Place) 	
Notification key	<p> Site boundary of Martin Place North (including 9-19 Elizabeth Street) 50m 100m </p>	
Scope and timing of early work	<p>9-19 Elizabeth Street</p> <ul style="list-style-type: none"> • Early works from September 2018 – Site establishment – HAZMAT removal – Soft strip-out of building 	<ul style="list-style-type: none"> – Class B Hoarding installation – Scaffold erection – Services disconnection – Geotechnical investigations



Item	Description
Construction hours	<ul style="list-style-type: none"> Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved

Table 20 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> Noise effects on directly adjacent buildings Noise from out of hours works affecting nearby hotels and residential apartments (Medina Serviced Apartments, and Sofitel Sydney Wentworth)
Dust	<ul style="list-style-type: none"> Child care in City Freeholds House, 15 Castlereagh St – also surrounding public.
Traffic and access	<ul style="list-style-type: none"> Temporary lane closure and pedestrian access on Elizabeth St (including temporary bus stop relocation) and traffic congestion impacting access to businesses around construction sites
Property impacts	<ul style="list-style-type: none"> Potential effects of vibration and settlement on adjacent heritage buildings
Business operations	<ul style="list-style-type: none"> Noise impacts at 50 Martin Place (Macquarie Group Ltd has events spaces) Noise and vibration impacts at Channel 7 studios at 52 Martin Place Maintaining pedestrian flows
Services disruption	<ul style="list-style-type: none"> Continuity of power supply and other essential services
Visual amenity	<ul style="list-style-type: none"> Impact on visual amenity for businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> General disruption in the CBD and traffic implications due to light rail construction and nearby commercial demolition and construction projects

Table 21 Business overview

Business name	Special requirements
BHP Building 1-7 Castlereagh	<ul style="list-style-type: none"> Standard office operating hours. One tenant operates a document control business 24/7 Car park and deliveries access via laneway entrance between 1 and 9 Castlereagh Street Ground floor commercial tenants deliveries via Castlereagh Street loading zone

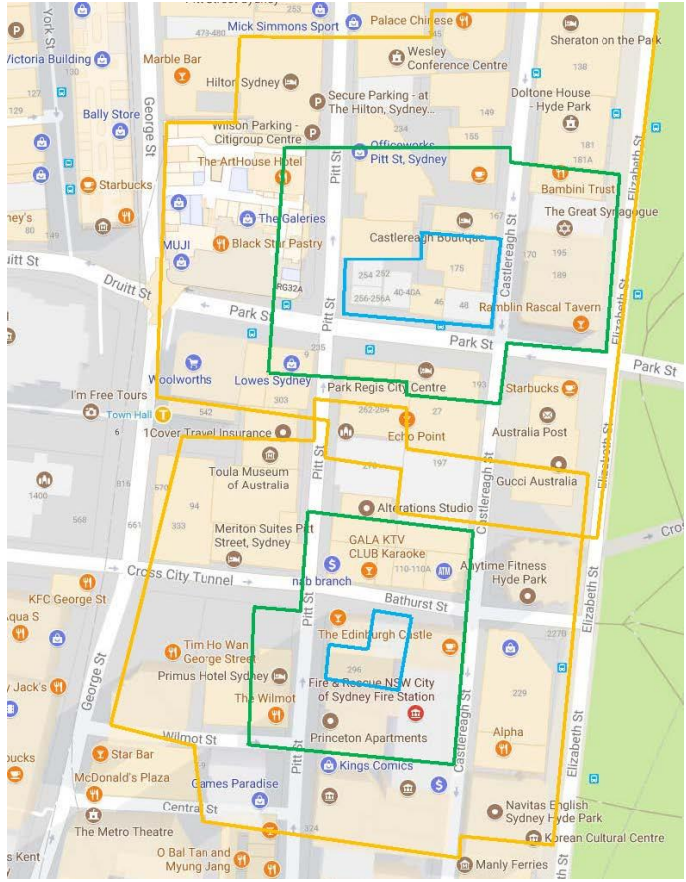
Business name	Special requirements
Castlereagh Centre, 9-11 Castlereagh	<ul style="list-style-type: none"> • Operating hours 7.00am to 6.00pm, Monday to Sunday • Deliveries via loading dock off laneway between 1-7 and 9-13 Castlereagh Street between 6am to 2pm
City Freeholds House, 15 Castlereagh St	<ul style="list-style-type: none"> • Standard office operating hours • Deliveries to basement loading dock via Castlereagh Street • Car park with 45 spots entrance and exit via Castlereagh Street • Explore and Develop Childcare on Level 2 with approximately 80 kids. Drop off zone in basement (75% of parents drive). Drop off period between 7.00am and 9.30am, pick up period between 5.00pm and 6.30pm.
"The Aston", 1 Hosking Place	<ul style="list-style-type: none"> • Operating hours 24/7 • 44 serviced apartments with 95% occupancy rate • Food and linen deliveries and rubbish removal via Hosking Place
8 Chifley	<ul style="list-style-type: none"> • Standard office operating hours • Deliveries access via Elizabeth Street
17 Castlereagh	<ul style="list-style-type: none"> • Standard office operating hours • No loading dock, deliveries access from Castlereagh Street loading zone • Garbage pickup room access via Hosking Place
37 Bligh St	<ul style="list-style-type: none"> • Standard office operating hours • No loading dock, deliveries from street loading zones
City Mutual Office, 60-66 Hunter St	<ul style="list-style-type: none"> • Extended operating hours from 7am to midnight • Deliveries/access via Bligh St
Rockpool Bar & Grill, Spice Temple, 60-66 Hunter St	<ul style="list-style-type: none"> • Extended operating hours from 8am to 1am • Deliveries typically between 7am and 3pm • Staff travel by public transport • 800-1000 customers per day arriving by foot, public transport and private drivers
City Convenience 1 Castlereagh Street	<ul style="list-style-type: none"> • Operating hours 6.00am to 2.00am, Sunday to Thursday. Open 24 hours Fridays and Saturdays • Busiest times: 8.00am to 10.00am; 12.00pm to 2.00pm; 4.00pm to 6.00pm • High volume of customers (approximately 500 per day) with a high reliance on store visibility. • 2 or 3 van/ ute deliveries per day via loading zone on Castlereagh Street

Business name	Special requirements
	<ul style="list-style-type: none"> • Customer's access on foot
Flight Centre 52 Martin Place	<ul style="list-style-type: none"> • Operating hours 9.00am to 5.30pm, Monday to Friday • Deliveries via Elizabeth Street • Busiest times between 12.00 and 2.30pm • Busiest trading periods February to March and Easter to June • Customer's access on foot
The Naked Duck 9-11 Castlereagh Street	<ul style="list-style-type: none"> • Busiest times between 8.00am to 10.00am and 12.00 to 2.00pm • Busiest trading periods around Christmas shopping months • Deliveries received via loading zone in basement, access via Castlereagh St • Amenity of outdoor eating area • High reliance on visibility with most customer's access on foot
Posh Printing 1 Castlereagh Street	<ul style="list-style-type: none"> • Operating hours 8.30am to 5.00pm, Monday to Friday • 2 or 3 deliveries per week via loading zone on Castlereagh Street • Customer's main access via phone or email. Low reliance on visibility
The Wolf 37 Bligh Street	<ul style="list-style-type: none"> • Operating hours 7.00am to 10.00pm, Monday to Friday. • Busiest trading times 12.00pm to 2.00pm and 6.00pm to 8.00pm • Amenity of outdoor eating area
Macquarie Group Ltd 50 Martin Place	<ul style="list-style-type: none"> • Access to the loading dock and car park for 50 Martin Place is via Castlereagh Street • Vibration sensitive bank security • Building has heritage value • Standard commercial operating hours • Sculpture in northern light well • Ground floor tenant (CBA) has access via Elizabeth Street, Castlereagh street and Martin Place
7 Network 52 Martin Place	<ul style="list-style-type: none"> • Studios in southern end of building • Limited exposure to noise and vibration from early works and initial demolition stages
Dexus building	<ul style="list-style-type: none"> • 20 storey retail and office building

Business name	Special requirements
60 Castlereagh Street	<ul style="list-style-type: none"> • Next to Martin Place South site – adjoining owners agreement in place
MLC Centre 19-29 Martin Place	<ul style="list-style-type: none"> • 67 floors of office space, retail and outdoor dining precinct • IGA and food court • Theatre Royal under redevelopment • Consulate General of the United States of America • Meetings with operations and retail managers
Henry Davis York Building 32-44 Martin Place	<ul style="list-style-type: none"> • Ground floor retail • Commercial offices – government departments (ATO, MyGov, Medicare) • Key concerns include noise, vibration and maintaining access

A.8 Pitt Street station site

Table 22 Pitt Street overview

Item	Description	
Site name	<ul style="list-style-type: none"> Pitt Street 	
Responsible contractor	<ul style="list-style-type: none"> JHCPBG Demolition works by Delta Group 	
Place Manager	<ul style="list-style-type: none"> Emily Smith (TfNSW until 31 July 2017) David Simpfendorfer (JHCPBG) 	
Start date	<ul style="list-style-type: none"> Pitt Street North - April 2017 Pitt Street South - October 2017 	
Location	<ul style="list-style-type: none"> Pitt Street North - Site bordered by Castlereagh, Park and Pitt streets Pitt Street South - 300 - 302 Pitt Street and 125-135 Bathurst Street 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of minor and early	<p>Pitt Street North</p> <ul style="list-style-type: none"> Demolition works from April 2017 Service disconnections 	<p>Pitt Street South</p> <ul style="list-style-type: none"> Demolition works from October 2017

Item	Description	
works	<ul style="list-style-type: none"> and temporary service establishment – Site establishment – Awning demolition – Hoarding installation – Strip out and Hazmat removal – Scaffold installation – Building demolition 	<ul style="list-style-type: none"> – Site establishment – Awning demolition – Hoarding installation – Strip out and Hazmat removal – Scaffold installation – Building demolition
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved 	

Table 23 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on sensitive equipment used by businesses (eg jewellers) • Noise impacts on residential properties and hotels in close proximity to construction sites, particularly during out-of-hours works • Noise impacts on retail and open air dining environments • Construction traffic noise including deliveries and spoil truck movements • Noise disturbance during religious services
Traffic and access	<ul style="list-style-type: none"> • Increase in truck movements • Traffic modifications including signage changes to footpath and pedestrian diversions • Utility works affecting footpath access • Maintaining access to the City of Sydney Fire Station in Castlereagh Street
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement • Potential damage to heritage elements of the neighbouring property at 169-171 Castlereagh Street
Business operations	<ul style="list-style-type: none"> • Visibility of businesses signage at neighbouring properties • Concern about health impacts to business staff and customers from dust • Changes to pedestrian patterns affecting walk-in trade

Item	Description
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> • Relative proximity to Sydney Light Rail works on George Street • Perception that the CBD is a construction site affecting attractiveness of retail precincts

Table 24 Business overview

Business name	Special requirements
Liberty Place - Commercial, 242 Pitt St	<ul style="list-style-type: none"> • Commercial tenants include: ANZ, Boston Consulting, Herbert Smith Freehills • Hours of operation are from 7am to 7pm, Monday to Friday. Legal firms have some activity later in the evenings and on Saturday and Sunday. • Approximately 3500 staff access the building daily. • Most staff access via public transport. • Deliveries via a loading dock at 242 Pitt Street, between 5am and 6pm, Monday to Friday.
Liberty Place – Retail Arcade, 242 Pitt St	<ul style="list-style-type: none"> • Hours of operation are from 6.30am to 10pm, Monday to Sunday. • Food retailers operate at breakfast, lunch and dinner. • Includes both permanent and pop-up tenants. Permanent retail tenants include: The Local, Pablo's and Scotch & Soda. • Busiest times are during lunch and Thursday and Friday evenings.
250 Pitt St - Commercial	<ul style="list-style-type: none"> • Building houses 120 commercial businesses. This includes 39 jewellers and one laser clinic with possible vibration sensitive equipment. • Building is typically in operation from 7am to 7pm, Monday to Friday, with individual businesses accessing the property at different times. The building is also open from 8am to 5pm on Saturdays. • Deliveries via the loading zone on Pitt Street.
250 Pitt St – Retail Arcade	<ul style="list-style-type: none"> • Arcade is open Monday to Friday, from approximately 6am to 7pm. • Retail tenants include: Sydney Camera House, Café Lido, Big Bite on Pitt, CBD Bakery on Pitt, Kais Jewellery, Remedial Massage Clinic, Kosmos Espresso Café and Deluxe Dry Cleaners • Includes City Convenience Store and The Penthouse (gentleman's club located in the basement), which are

Business name	Special requirements
	<ul style="list-style-type: none"> open 24 hours, seven days a week. • Deliveries via the loading zone on Pitt Street.
Castlereagh Boutique Hotel, 169-171 Castlereagh St	<ul style="list-style-type: none"> • Masonic Club operates on Levels 1-4. Typical activities include lunch and breakfast functions and speaking events. • Castlereagh Boutique Hotel operates on levels 6-12 with hotel reception located on the ground floor. • Check out times are between 6am and 10am, and check in times are from 2pm. • Authentic Education is a corporate training provider which operates on level 5. Training programs are typically delivered Monday to Friday 9am-5pm. • Deliveries via loading zone on Castlereagh Street
Pie Face, 169-171 Castlereagh St	<ul style="list-style-type: none"> • Ground floor retail tenant attached to <i>Castlereagh Boutique Hotel</i>. • Hours of operation are Monday to Saturday 6am-11pm and Sunday 6am-6pm • Deliveries via loading zone on Castlereagh Street
Hyde Park Jewellery, 169-171 Castlereagh St	<ul style="list-style-type: none"> • Ground floor retail tenant attached to <i>Castlereagh Boutique Hotel</i>. • Hours of operation are Monday to Saturday 6am-11pm and Sunday 6am-6pm • Deliveries via loading zone on Castlereagh Street • Christmas is busiest time of year for trading
The Arthouse Hotel, 275 Pitt St	<ul style="list-style-type: none"> • Open Monday to Wednesday 10am to 12am, Thursday 10am to 1am, Friday 10am to 3am, and Saturday 10am – 4am. • Deliveries three times daily via loading zone at The Hilton, via Pitt Street. • Busiest times are during lunch and Friday and Saturday evenings. Busiest months are October to December. • High reliance on visibility with most customers accessing on foot. • Staff travel by public transport.
Hotel Coronation, 5-7 Park St	<ul style="list-style-type: none"> • Open Monday to Sunday, 5am to 3am. • 21 hotel rooms that book out three to six months in advance. • Hotel airport shuttle bus access via Pitt/Park Street. • Deliveries via access point at Park Street. • Busiest times are during lunch time, happy hour and after 9pm. • High reliance on visibility, particularly for upstairs bar, with most customers accessing on foot.

Business name	Special requirements
Lowes Sydney, 295-301 Pitt St	<ul style="list-style-type: none"> • Open Monday to Friday 8am to 9.30pm, Saturday and Sunday 8am to 8pm. • Deliveries via Pitt/Park Streets with elevator off Pitt Street. • Staff travel by public transport. • Busiest times are around Christmas and Mardi Gras. • High reliance on visibility and pedestrian access with approximately 250 customers accessing on foot per day.
Criterion Hotel, 258-260 Pitt St	<ul style="list-style-type: none"> • Open Sunday to Thursday 9am to 4am, Friday to Saturday 9am to 6am. • Deliveries via Pitt Street loading zone, typically Wednesday and Thursday overnight. • Staff travel by public transport. • Plans to renovate 20 rooms upstairs. • Busiest times are Friday and Saturdays, particularly during and after sporting events. • High reliance on visibility and pedestrian access with up to 1000 customers accessing on foot per day.
Renya Xydis City Salon, 172 Castlereagh St	<ul style="list-style-type: none"> • Open Monday to Saturday, with late trading on Wednesday and Thursday. • Deliveries via loading zone on Castlereagh Street. • Busiest times are Thursday night and Saturday. • Closing Q2, 2017.
Frost Antiques, 160 Castlereagh St	<ul style="list-style-type: none"> • Open regular business hours Monday to Friday. • Deliveries via loading zone on Castlereagh Street. • Busiest around Christmas trading period. • Customers access on foot.
Clueless International, 50 Park St	<ul style="list-style-type: none"> • Open Monday to Saturday, 10am to 6pm. • Clothing retailer. • Deliveries via loading zone. • Busiest times are around lunch, Friday afternoon and weekends. • High reliance on visibility with most customers accessing on foot.
Bauer Media Group, 54 Park St	<ul style="list-style-type: none"> • Potential for building use 24/7, Monday to Sunday. Typically building use is Monday to Friday 7am-7pm. • Building contains studios for photographic and some video shoots.

Business name	Special requirements
	<ul style="list-style-type: none"> • Deliveries received via access point between Castlereagh and Elizabeth Street.
City of Sydney Fire Station 211 Castlereagh Street	<ul style="list-style-type: none"> • Major fire station for CBD and surrounding area • Must maintain access for fire trucks at all times • Personnel sleep on the premises • Located next to Pitt Street South site – adjoining owner agreement in place
The Edinburgh Castle 294 Pitt Street	<ul style="list-style-type: none"> • Pub and bistro originally opened in 1885 • Opening hours 10am-12am Monday to Wednesday, 10am-1am Thursday and Friday, 12pm-2am Saturday and 12pm to 10pm Sunday • Located next to Pitt Street South site – adjoining owner agreement in place
Primus Hotel Sydney 339 Pitt Street	<ul style="list-style-type: none"> • Art deco hotel opened in 2015 with 172 rooms, 120 seat capacity restaurant, board rooms, meeting and events level, valet parking, rooftop bar • Opposite Pitt Street South site - noise impacts and traffic changes

A.9 Sydney Yard Access Bridge site

Table 25 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> • Sydney Yard Access Bridge 	
Responsible contractor	<ul style="list-style-type: none"> • Laing O'Rourke 	
Place Manager	<ul style="list-style-type: none"> • Robin Baird 	
Start date	<ul style="list-style-type: none"> • 29 April 2017 	
Location	<ul style="list-style-type: none"> • Zone SY - Sydney Yard within Central Station • Zone RS - between 54 - 66 Regent Street • Zone MS - between Mortuary Station and Zone RS 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of early work	<ul style="list-style-type: none"> • Site establishment (April – June 2017) <ul style="list-style-type: none"> – Fencing and hording – Establishment of hard stand and laydown areas • Demolition (Zone RS only - June – August 2017) • Bridge construction enabling works (June – August 2017) <ul style="list-style-type: none"> – Piling for abutments, piers, and Tower Crane 	<ul style="list-style-type: none"> – Track work (OOH mid-week possessions) – Over-head wire removal (OOH mid-week possessions) – Signalling works (OOH mid-week and weekend possessions) • Utility relocations along Regent Street (August – October 2017 - OOH works) • Bridge construction (August– December 2017)
Construction hours	<ul style="list-style-type: none"> • Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved 	

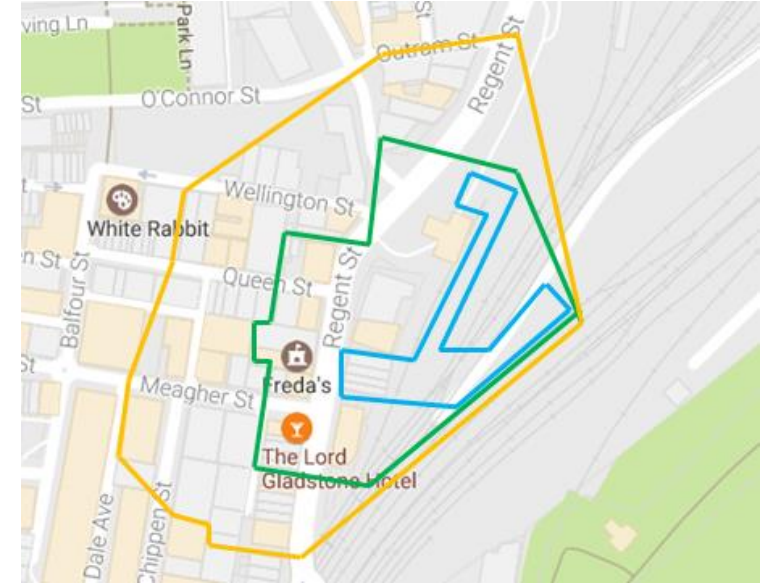


Table 26 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration effects on neighbouring residential apartments during demolition and piling works • Noise and vibration from utility relocation night works along Regent Street • Potential for high noise generating activities to occur concurrently during daytime and out-of-hour periods (piling and service relocation works)
Light	<ul style="list-style-type: none"> • Lighting for OOH possession works in the rail corridor may impact on adjoining residential properties
Traffic and access	<ul style="list-style-type: none"> • Maintaining access for adjoining properties during service relocation works • Traffic modifications including signage changes to footpath and pedestrian diversions during demolition and service relocation works
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement
Business operations	<ul style="list-style-type: none"> • Loss of customer parking • Concern about health impacts to business staff and customers from dust • Changes to pedestrian patterns affecting walk-in trade
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> • Substation construction works in the rail corridor to the north and east are considered to have negligible cumulative impact

Table 27 Business overview

Business name	Special requirements
Gogas Service Station, 70 Regent St	<ul style="list-style-type: none"> • Open Monday to Sunday, 24 hours a day. • Taxis use station frequently • Maintaining on-site parking important. Taxis frequent the restaurant attached to the station. • Station has underground infrastructure which needs to be protected.
Lord Gladstone Hotel, 115 Regent St	<ul style="list-style-type: none"> • Opening hours Monday to Tuesday 11am-11pm, Wednesday 11am -12am, Thursday to Saturday 11am-3am and Sunday 12pm-10pm

Business name	Special requirements
	<ul style="list-style-type: none"> • Deliveries via Meagher Street loading zone.
Café Ideas – Café furniture and Catering Equipment, 111-113 Regent St	<ul style="list-style-type: none"> • Open Monday to Friday during regular business hours and Saturday from 10am to 2pm. • Deliveries via Meagher Street loading zone. • Staff travel by public transport. • Busiest days are Monday to Wednesday.
Houzz Nguyen, 109 Regent St	<ul style="list-style-type: none"> • Open Monday to Friday, 7am to 7pm. • Deliveries via Regent Street. • Staff travel by public transport. • One or two events by invitation per quarter with up to 100 attendees. • High use of telephone for business.
Freda's, 109 Regent St	<ul style="list-style-type: none"> • Open Tuesday to Saturday, 4pm to 12am. Sunday, 4pm to 10pm. • Sporadic deliveries via lane off Regent Street. • Staff travel by public transport. • Busiest days are Thursday to Saturday nights.
We Are Social, 107 Regent St	<ul style="list-style-type: none"> • Advertising agency open Monday to Friday, during regular business hours. • Deliveries received via Regent Street. • Staff travel by public transport.
Dunwood Recruitment, 105 Regent St	<ul style="list-style-type: none"> • Open Monday to Friday, 9am to 4pm. • Busiest times are between 11am-2pm, Monday to Thursday. • High use of telephone for business.
Elders Real Estate Sydney City South, 99 Regent St	<ul style="list-style-type: none"> • Open Monday to Friday during regular business hours and Saturday from 9am to 1pm. • Deliveries via Regent Street. • Busiest days are Friday and Saturday. • Customers access via car, require parking access.
City Furniture, 87-97 Regent St	<ul style="list-style-type: none"> • Open Monday to Friday from 11am to 6pm and Saturday from 11am to 3pm. • Deliveries received at rear, via Queen Street.

Business name	Special requirements
	<ul style="list-style-type: none"> • Busiest days are Friday and Saturday. • Most customers access on foot.
REMIFA Music Education, 3/87-97 Regent St	<ul style="list-style-type: none"> • Open Monday to Friday from 10am to 7pm. • Most customers access on foot.
Hello Fresh – sales channel, 6/87-97 Regent St	<ul style="list-style-type: none"> • Online business open Monday to Friday during regular business hours. • Deliveries received on Monday at rear access via Queen Street. • Staff travel by public transport.
Continuity Group, Morphed, BrainPulse, 5/87-97 Regent St	<ul style="list-style-type: none"> • Software developers • Open Monday to Friday during regular business hours. • Staff park in area at rear, access via Queen Street.

A.10 Waterloo station site

Table 28 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> Waterloo 	
Responsible contractor	<ul style="list-style-type: none"> JHCPBG Demolition works by Delta Group 	
Place Manager	<ul style="list-style-type: none"> Michael Lloyd (TfNSW until 31 July 2017) Faye Rescigno (JHCPBG) 	
Start date	<ul style="list-style-type: none"> June 2017 (subject to minor works approval) 	
Location	<ul style="list-style-type: none"> The site is bound by Raglan, Wellington and Cope streets and Botany Road, Waterloo (excluding 103 Botany Road) 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of minor and early works	<ul style="list-style-type: none"> Demolition works from June 2017 <ul style="list-style-type: none"> Service disconnections and temporary service establishment Site establishment Awning demolition Hoarding installation Strip out and Hazmat removal Building demolition 	<ul style="list-style-type: none"> Minor works (Subject to Minor Works Approval) Site establishment from November 2017 <ul style="list-style-type: none"> Utility, heritage, geotechnical and contamination investigations Relocation of existing utility services Installation of noise walls and environmental controls Installation of site facilities Removal of vegetation
Construction hours	<ul style="list-style-type: none"> Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved 	

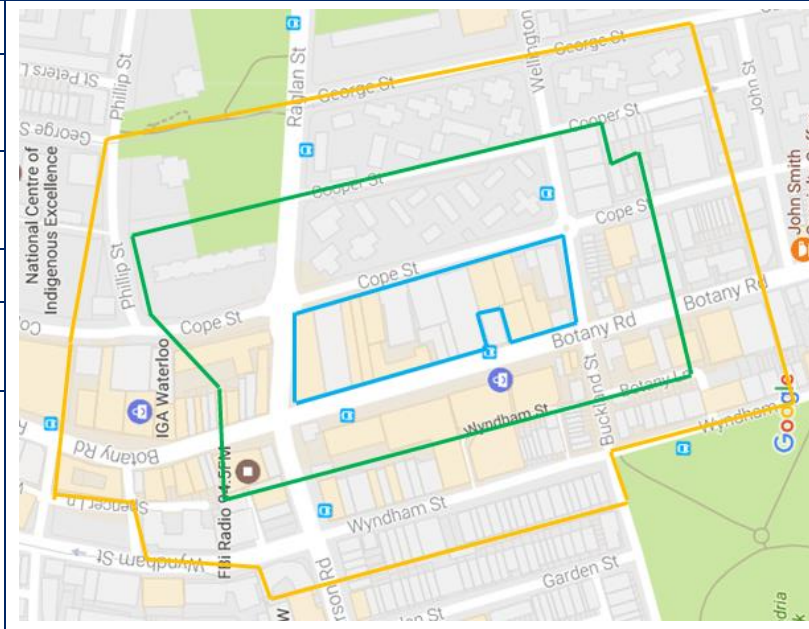


Table 29 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise impacts on surrounding businesses • Construction traffic noise including deliveries and spoil truck movements • Noise and vibration from night works • Noise disturbance during religious services
Traffic and access	<ul style="list-style-type: none"> • Increase in truck movements • Traffic modifications including signage, changes to footpath and pedestrian diversions
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement • Potential damage to heritage elements of the neighbouring property at 103 Botany Road
Business operations	<ul style="list-style-type: none"> • Concern about health impacts to business staff and customers from dust • Maintaining on-street parking for customers and staff • Loss of customer base from removal commercial/residential properties
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> • Nil

Table 30 Business overview

Business name	Special requirements
Convenience Store, 125 Raglan St	<ul style="list-style-type: none"> • Open Monday to Friday, 6am to midnight. • Daily deliveries at front entry. • High reliance on visibility with most customers accessing on foot.
The Rag Land Café, 129 Raglan St	<ul style="list-style-type: none"> • Open Monday to Friday, 7am to 4pm. • Daily deliveries at front entry. • Staff travel by public transport. • Busiest in the morning.
Lalezar Turkish Cuisine	<ul style="list-style-type: none"> • Restaurant, no outdoor seating

Business name	Special requirements
	<ul style="list-style-type: none"> • Open Monday to Saturday, 11am to 10pm
Abbotts Hotel and Bottleshop, 45-47 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Saturday, 10am to 12am, and Sunday, 10am to 10pm. • Deliveries Monday to Friday via Raglan Street loading zone, occasionally from 6.30am. • Busiest from 4pm to 8pm. • Customers access by foot and car (bottleshop).
Kirby's Pharmacy, 43 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Friday, 9am to 6pm, and Saturday, 9am to 1pm. • Deliveries 10-10.30am Monday to Saturday via Raglan Street or IGA in Botany Road. • Busiest times are around lunch and from 4pm to 5pm. • High reliance on visibility with most customers accessing on foot.
ProExhibit, 6/44-54 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Saturday, 9am to 5pm. • Rely on street parking as most customers access via car.
Attaquer Cycling, 1/3 Henderson Rd	<ul style="list-style-type: none"> • Open Monday to Friday, 9am to 5pm. • Deliveries via loading zone on Henderson Rd. • Business operates online.
The Front, 5 Henderson Rd	<ul style="list-style-type: none"> • Commercial photography and equipment hire. • Open Monday to Sunday from 6.30am to 9pm.
The Whole Box 'n Dice, Level 1, 60 Botany Rd	<ul style="list-style-type: none"> • Office hours Monday to Friday 8am-6pm • Marketing and promotions studio. • Untenanted shopfront downstairs, previously 'Grill King'
Yum Yai Thai, 72 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Sunday, 10am to 9pm. • Deliveries via front entrance. • Staff travel by public transport. • Busiest times are around lunch on weekdays. • Customers access by foot and car. • Take away delivery vehicles park at front of restaurant.
Southrom, 76-82 Botany	<ul style="list-style-type: none"> • Show room with dedicated bus parking off-street.

Business name	Special requirements
Rd	
Aurora Project, 100 Botany Rd	<ul style="list-style-type: none"> • Open regular business hours. • Deliveries via front entrance. • Customers park at front of property.
Allens Music, 108 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Sunday between 8.30am to 6.30pm. • Tutoring held upstairs on weekdays between 10am and 8pm. • Deliveries occur on weekdays via loading dock on Botany Road. • All staff travel on 355 bus. • Busiest on weekends. • Most customers travel by car and park at the front of the business. • High reliance on visibility.
99 Bikes, 1/110 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Sunday 9am to 6pm, with late trading on Thursday. • Deliveries via front entrance between 9am and 12pm. • Equal split of customers accessing on foot and by car. • Busiest on the weekend and around Christmas. • Customers park at front of shop.
Sunbeam Factory Outlet, 2/110 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Friday, 9am to 5pm, Saturday, 9am to 3pm, and Sunday, 10am to 3pm. • Deliveries via front entrance. • Busiest during weekday lunch period and around Christmas. • Equal split of customers accessing on foot and by car. • Customers park at front of shop.
110 Botany Road	<ul style="list-style-type: none"> • Commercial office building above shopfronts. • Regular hours, Monday to Friday 8am-6pm.
Red Rose Dream Girl Massage, 130 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Sunday, 10am to midnight. • Equal split of customers accessing on foot and by car. • Customers park in surrounding streets as there is no parking directly in front of business. • High reliance on visibility for foot traffic.

Business name	Special requirements
Mr Toast Café, 132 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Saturday, 6.30am to 3.30pm. • Deliveries received between 5.30am and 11.30am via Buckland Street. • Busiest times are 8am to 10am and 12pm to 2pm. • High reliance on visibility with most customers accessing on foot.
Made In Apparel, 3/138 Botany Rd	<ul style="list-style-type: none"> • Online screen printing business, open Monday to Friday, 6am to 6pm. • Frequent deliveries via both front entrance on Botany Road and rear entrance. Truck deliveries between 11am and 2pm. • Customers visit by appointment only.
The Cauliflower Hotel, 123 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Saturday, 10am to midnight, and Sunday, 10am to 10pm. • Deliveries received between 8am and 12pm via loading zone on Wellington Street. • Busiest time is trivia on Wednesday evening. • Live music on Saturday and Sunday evening. • High reliance on visibility with most customers accessing on foot.
Alexandria Vet Hospital AMS, 1/138-142 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Friday, 8am to 8pm, Saturday, 9am to 5pm, and Sunday, 1.30pm to 5pm.
Dens in Dente Dental Care, 2/138-142 Botany Rd	<ul style="list-style-type: none"> • Open Monday to Friday, 8am to 8pm, Saturday and Sunday, 8am to 4pm. • Received deliveries via Botany Road. • Busiest between October and December. • Customers access by car, foot and public transport.
Aztec Office National, 176-178 Cope St	<ul style="list-style-type: none"> • Sales and repairs centre, open Monday to Friday from 8am to 6pm. • Frequent deliveries received via Cope Street. • Busiest times are frequent courier visits between 10.30am and 3.30pm. Busy during school holidays. • Customers travel by car and park on site.
Vental Australia, 116 Wellington St	<ul style="list-style-type: none"> • Aluminium blinds sales and repairs. • Open Monday to Friday from 7am to 5.30pm. • Deliveries via Wellington Street.

Business name	Special requirements
	<ul style="list-style-type: none"><li data-bbox="651 212 987 244">• Busiest during summer.<li data-bbox="651 252 1016 284">• Customers park on street.

A.11 Marrickville dive site

Table 31 Site overview

Item	Description	
Site name	<ul style="list-style-type: none"> Marrickville Dive Site 	
Responsible contractor	<ul style="list-style-type: none"> JHCPBG Demolition works by Delta Group 	
Place Manager	<ul style="list-style-type: none"> Emily Smith (TfNSW until 31 July 2017) Faye Rescigno (JHCPBG) 	
Start date	<ul style="list-style-type: none"> June 2017 	
Location	<ul style="list-style-type: none"> The site is bound by Sydney Steel and Edinburgh roads, and the rail corridor, Marrickville (and the Sydney Water Stormwater Retention Basin) 	
Notification key	<p>— Site boundary — 50m — 100m</p>	
Scope and timing of early work	<ul style="list-style-type: none"> Minor works (Subject to Minor Works Approval) Demolition works from June 2017 <ul style="list-style-type: none"> Service disconnections and temporary service establishment Site establishment Hoarding installation Strip out and Hazmat removal Building demolition 	<ul style="list-style-type: none"> Site establishment from October 2017 <ul style="list-style-type: none"> Utility, heritage, geotechnical and contamination investigations Relocation of existing utility services Installation of noise walls and environmental controls Construction of haul roads and offices on site Vegetation clearing Minor earthworks for precast works area
Construction hours	<ul style="list-style-type: none"> Standard Hours: 7am to 6pm Monday to Friday and 8am to 1pm Saturdays or as otherwise approved 	

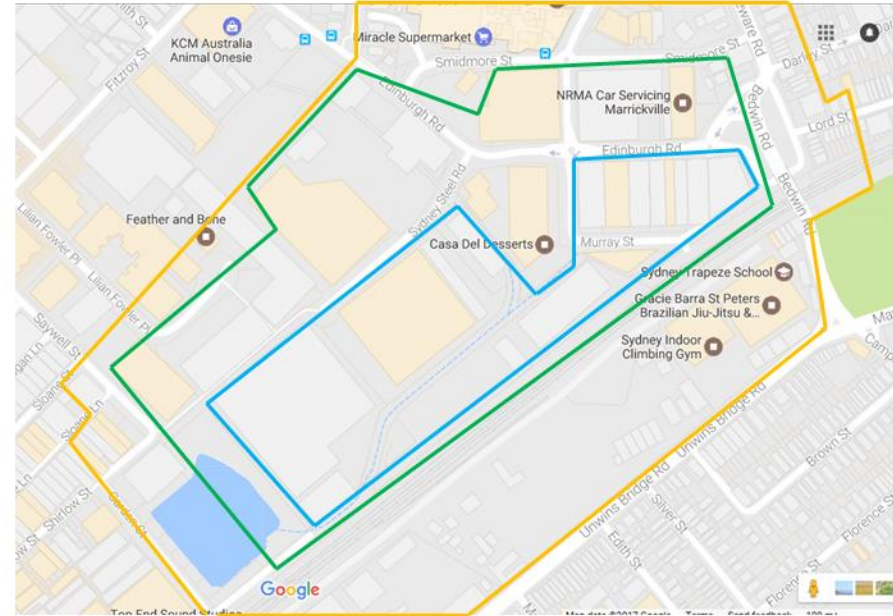


Table 32 Potential issues

Item	Description
Noise and vibration	<ul style="list-style-type: none"> • Noise and vibration disturbance of local businesses and residents • Construction traffic noise including deliveries and spoil truck movements
Traffic and access	<ul style="list-style-type: none"> • Maintaining large vehicle access to 92-110 Edinburgh Road during demolition • Traffic modifications including signage changes to footpath and pedestrian diversions during utility relocations
Property impacts	<ul style="list-style-type: none"> • Potential effects of vibration and settlement (considered to negligible)
Business operations	<ul style="list-style-type: none"> • Concern about health impacts to business staff, customers and operations from dust • Maintaining on-street parking for customers and staff • Maintaining power and water supply to local businesses during utility relocations
Services disruption	<ul style="list-style-type: none"> • Continuity of power supply
Visual amenity	<ul style="list-style-type: none"> • Impact on visual amenity for businesses overlooking construction site
Cumulative Impacts	<ul style="list-style-type: none"> • Relative proximity to WestConnex construction site on the southern side of Unwins Bridge

Table 33 Business overview

Business name	Special requirements
Metro Storage, 11 Edinburgh Road	<ul style="list-style-type: none"> • Open Monday to Saturday, 8am to 5.30pm, and Sunday, 10am to 4pm. • Approximately 800 storage units on site. • Deliveries received all day during hours of operation via entrance on Edinburgh Road. • High reliance on visibility with frequent drive by customers.
Simmons Logue Fine Food Company, 1/18 Lillian Fowler Pl	<ul style="list-style-type: none"> • Catering and food manufacturing. • Business operates Monday to Friday between 5am and 12am, and weekends between 4am and 1pm. • Deliveries loaded and received daily between 6am and 2pm. • Approximately 50 staff, most rely on public transport to get to work.
Afford – Australian Foundation for Disability, 3/18 Lillian Fowler Pl	<ul style="list-style-type: none"> • Organisation providing warehouse-based employment opportunities for people with disabilities. • Open Monday to Friday from 7.30am to 3.30pm. • Approximately 90 disabled staff members who work varied casual hours.

Business name	Special requirements
Hong Kong Dim Sim Kitchen, 4/18 Lillian Fowler Pl	<ul style="list-style-type: none"> • Staff travel by public transport and taxis.
Premier Northpak, 13-15 Edinburgh Rd	<ul style="list-style-type: none"> • Business operates Monday to Friday between 5am and 4pm, and occasionally on weekends during busy periods. • Deliveries received all day, including some overnight. Vehicles include medium and large trucks, and occasional freezer semi-trailers. • Approximately 15 staff, majority travel by public transport. • Busiest times are between 9am and 2pm. • Business is mostly delivery-based, very infrequent visiting customers.
Casa Del Australia, 102-110 Edinburgh Road	<ul style="list-style-type: none"> • Food packaging distribution and sales, and separate party supply shop. • Open Monday to Friday from 8am to 4pm. Party shop is also open on Saturdays. Staff are on site from 6.30am. • Daily deliveries shipped and received via Edinburgh Road between 5am and 7pm. • Staff travel by public transport. • Frequent customers throughout the day, largely traveling by car. Customer parking is available on site. • Reliance on visibility, particularly for party supply shop.
Business Park, 102-110 Edinburgh Road	<ul style="list-style-type: none"> • Food production and distribution company specialising in wedding cakes and gelato. • Operating hours Monday to Friday 4am-6pm. • Received frequent deliveries in large trucks access via private driveway entrance off Murray Street. Trucks need to implement a three point turn to access successfully. • Business needs to comply with health standards associated with food preparation. • Received a lot of walk in trade from Marrickville Metro customers

Appendix B Business survey

Sydney Metro	Business survey			
Business name				
Business contact		Role		
Phone		Mobile		
Email				
Street address				
Preferred contact	<i>[ie: Email, phone, letter, SMS]</i>			
Type of business	<i>[ie: Café, retail store, medical services, professional services]</i>			
Operating hours	Monday:	Tuesday:	Wednesday:	
	Thursday:	Friday:	Saturday:	
	Sunday:	Other:		
Deliveries	Typically timing			
	Type of delivery vehicle	<i>[ie: Ute, van, semi-trailer]</i>		
	Delivery access point			
Staff	Number of staff			
	How do they get to work?			
Business access	Staff parking & location			
	Customer parking & location			
	Location of driveway or goods access point			
Customer access	No. of daily customers			
	Busiest days and times	<i>[ie: Monday – Friday 8-9am and lunch time]</i>		
	Busiest trading period	<i>[ie: Christmas, back to school, school holidays]</i>		
	How do you customer access your business?	<i>[ie: Walking/bus/train/car]</i>		
	What % of customer's access by:	Car	Foot	Public transport
	Do you rely on visibility?			

Appendix C Environmental Representative endorsement letter

Stuart Hodgson
Director
Program Sustainability Environment & Planning
Sydney Metro
Transport for NSW
PO Box K659
HAYMARKET NSW 1240

18 September 2018

Re: 170108_BMP Rev 4

Dear Stuart

RE: Endorsement of Sydney Metro Business Management Plan - Early Works

Thank you for providing the following documents for Environmental Representative (ER) review and endorsement as required by the Condition of Approval A24 (d) of the Sydney Metro City & Southwest project (SSI – 15_7400 January 9 2017).

- Sydney Metro City & Southwest Business Management Plan - Early Works Rev 4, 4 September 2018) (the BMP).

This plan was updated to include additional geotechnical investigations to be conducted within 9-19 Elizabeth Street. There are no changes to the management of businesses as a result.

As an approved ER for the Sydney Metro City & Southwest project, I have reviewed and provided comment on this document and consider it appropriate for implementation during the ongoing Early Works portion of the project.

Yours sincerely



Jo Robertson
Environmental Representative – Sydney Metro – City and South West